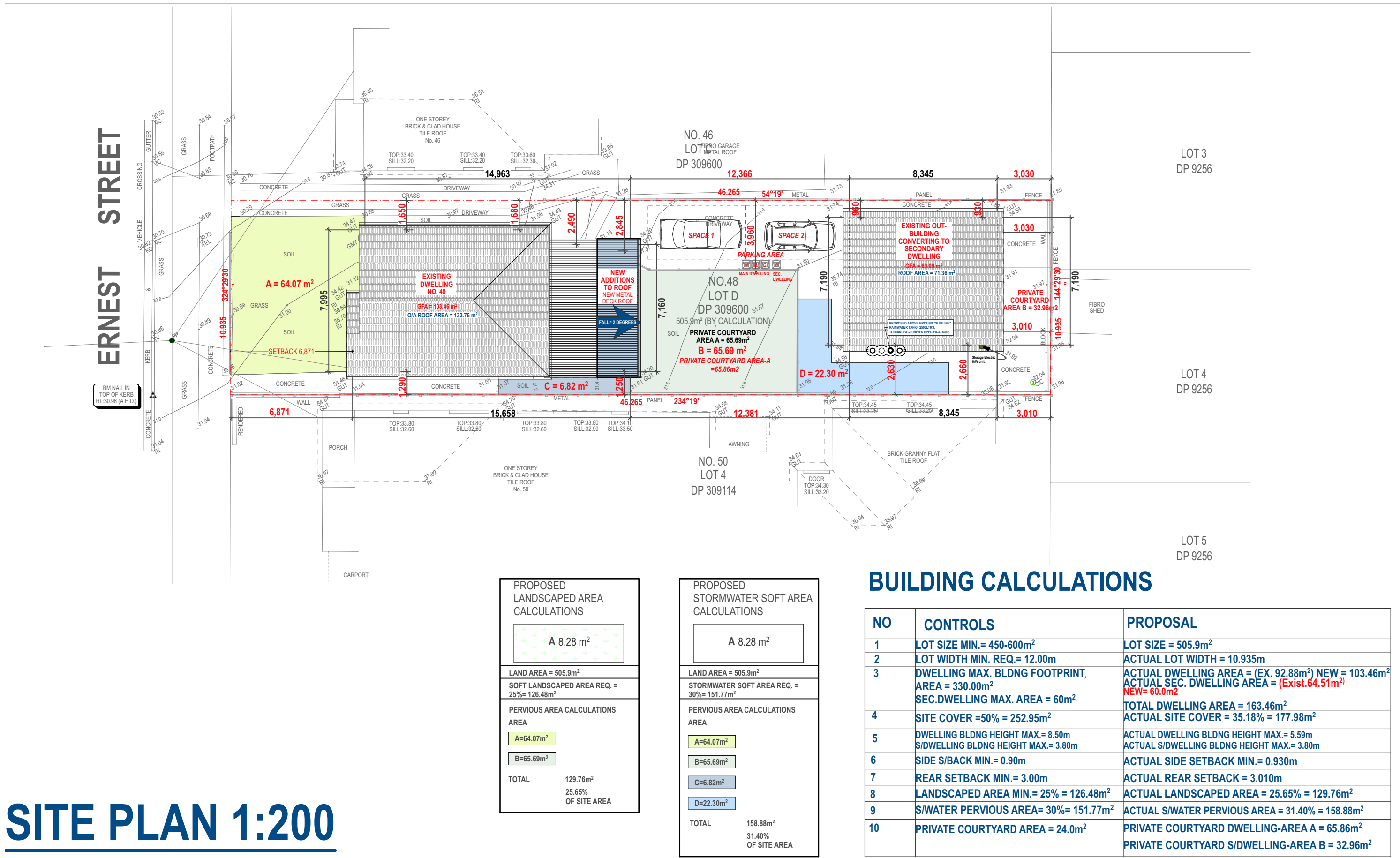


SITE ANALYSIS PLAN 1:200



SITE PLAN 1:200

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C.O.S DENOTES ITEM TO BE CHECKED ON SITE.

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48 ERNEST STREET LAKEMBA NSW

client

ALT'S & ADD'S TO MAIN DWELLING/CONV. OF
EX. OUT/BLDING TO SEC. DWELLING
project

48
ERNEST STREET
LAKEMBA
address

ESD NOTES

WATER CONSERVATION
SELECTED WATER DEVICES TO ALL NEW WORKS
AREAS WITH THE FOLLOWING STAR RATINGS

ITEM	RATING
SHOWER BASIN TAPS	4 STAR
SHOWER ROSE & MIXER	4 STAR
WC FLUSH SYSTEM	4 STAR
LAUNDRY TAPS	4 STAR

THE SELECTED RATING SYSTEM IS CONTAINED IN
THE MANUAL OF ASSESSMENT PROCEDURE OF
WATER EFFICIENT APPLICATIONS SAA MP64-1995S
ALL NEW SECONDARY DWELLINGS ROOF AREA IS TO
BE DRAINED INTO A 2000 LITRES RAIN WATER TANK
TO BE PROVIDED AS SPECIFIED ON THESE
DRAWINGS AND CONNECTED TO ALL GARDEN &
TOILET.

INSTALLATION AND LABELING OF PIPES TO BE IN
ACCORDANCE WITH THE RELEVANT AND CURRENT
SAA CODES

THE BUILDING IS TO BE CONSTRUCTED AND
FITTED WITH ALL THERMAL PERFORMANCE
SPECIFICATION REQUIREMENTS LISTED IN THE
BASIX CERTIFICATE AND IS TO INCLUDE THE
FOLLOWING AT MINIMUM:

ITEM	REQUIREMENT
MAIN DWELLING:	
EXTERNAL WALLS	BRICK VENEER WALLS
INTERNAL WALLS	TIMBER WALLS
FLOOR TYPE	CONCRETE FLOOR
SEC. DWELLING:	
EXTERNAL WALLS	BRICK VENEER WALLS
INTERNAL WALLS	TIMBER WALLS
FLOOR TYPE	CONCRETE FLOOR

WINDOW & SLIDING DOOR
GLASS TYPE

CEILING INSULATION
WALL INSULATION

EXTERNAL WALL COLOUR
ROOF CLADDING COLOUR

WEATHER STRIPPING
TO ALL DOORS AND
WINDOWS

ROOF VENTILATION
HOT WATER UNIT

AIR CONDITIONING FOR
HEATING AND COOLING

OF BEDROOMS AND
LIVING ROOMS

SHOWER ROOM EXHAUST
DUCTED TO FACADE
OR ROOF WITH
MANUAL SWITCH ON/

OFF

LAUNDRY VENTILATION
NATURAL
VENTILATION ONLY

LIGHTING: ALL FITTINGS
CAPABLE OF ACCEPTING
FLUORESCENT LAMPS TO:

ALL NEW SELECTED WHITE GOODS AND OTHER
PRIME COST ELECTRICAL APPLIANCES ARE TO BE
OF AT LEAST A 3.5 STAR ENERGY RATING. THIS
SHALL INCLUDE AT MINIMUM: REFRIGERATOR,
DISHWASHER, WASHING MACHINE, DRYER TO BE AT
LEAST 2.5 STAR RATED. PROVIDE ADEQUATE
VENTILATION SPACE BEHIND REFRIGERATOR TO
MANUFACTURERS REQUIREMENTS.

ALL GAS APPLIANCES ARE TO BE OF AT LEAST A 3.5
STAR ENERGY RATING. THIS SHALL INCLUDE AT
MINIMUM: KITCHEN COOK TOP AND OVEN; AND A
6 STAR INSTANTANEOUS GAS HOT WATER SYSTEM
FOR DOMESTIC HOT WATER SUPPLY.

PROVIDE EXTERNAL CLOTHES DRYING AREA AS
INDICATED ON PLAN AND RETRACTIBLE INTERNAL
DRYING LINE IN LAUNDRY.

BASIX CERTIFICATE
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH THE BASIX CERTIFICATE AND
SPECIFICATION AND REQUIREMENTS

SMOKE ALARM
Ⓢ DENOTES

CEILING MOUNTED SMOKE ALARM CONNECTED TO
MAINS POWER SUPPLY WITH BATTERY BACK.
AS PER: BCA: CLASS 1a BUILDING IN ACCORDANCE
WITH 9.5.2 & 9.5.4 AS 1603; AS1670:AS3786
& AS1651.8

STORMWATER
ALL STORMWATER DRAINAGE TO BE IN
ACCORDANCE WITH AS 3660 & COUNCIL'S
REQUIREMENTS. DOWN PIPE & SW PIPE LOCATIONS
AND DOWNPIPES ARE INDICATIVE ONLY - TO BE
DETERMINED BY PLUMBER.

ALL STORMWATER TO BE DISCHARGED TO THE
STREET GUTTER USING NEW AND EXISTING
UNDERGROUND PIPING. ALL NEW PIPING TO BE
STORMWATER GRADE UPVC TO ALL RELEVANT
AND CURRENT SAA CODE REQUIREMENTS.

ALL WATER RUN-OFF FROM PAVING TO BE
DIRECTED TO GRASS AREAS AND GARDEN BEDS.

REFER TO STORMWATER DRAINAGE CONCEPT
PLAN FOR FURTHER DETAILS.

TERMITE PROTECTION
PROVIDE TERMITE PROTECTION IN ACCORDANCE
WITH AS 3660.1 - 2000. PROVISIONS IN THIS DESIGN
INCLUDE:

- PESTICIDE RETICULATION SYSTEM BELOW THE
GROUND SLAB WITH FREQUENT CHEMICAL
INJECTION SERVICE TO MANUFACTURER'S
MAINTENANCE RECOMMENDATIONS.

- WOVEN METAL MESH FABRIC LAID ACROSS
270MM BRICK WALL CAVITIES BELOW THE FLOOR
STRUCTURE LEVEL.

REFER TO SECTIONS FOR FURTHER DETAILS

SLIP RESISTANCE
ALL FLOOR SURFACES TO HAVE A SLIP-RESISTANT
FINISH IN ACCORDANCE WITH ALL RELEVANT AND
CURRENT SAA CODES

NET AREA INTERPOLATION
Table 10.3.3 Roof space ventilation requirements

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PROVIDE EXHAUST SYSTEM TO:

LAUNDRY/KITCHEN AND EN-SUITE. IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 10.8: CONDENSATION DETAILS OF FLOOR
RATES + EXHAUST TO OUTSIDE AIR:

Part 10.8 Condensation management:10.8.1

External wall construction

(1) Where a pliable building membrane is installed in an external wall, it must—
(a) comply with AS 4200.1; and
(2019: 3.8.7.2)
(b) be installed in accordance with AS 4200.2; and
(c) be located on the exterior side of the primary insulation layer of wall
assemblies that form the external envelope
of a building.

(2) Where a pliable building membrane, sarking-type material or insulation layer
is installed on the exterior side of the
primary insulation layer of an external wall it must have a vapour permeance of
not less than—
(a) in climate zones 4 and 5, 0.143 µg/N.s; and
(b) in climate zones 6, 7 and 8, 1.14 µg/N.s.

(3) Except for single skin masonry or single skin concrete, where a pliable
building membrane is not installed in an
external wall, the primary water control layer must be separated from water
sensitive materials by a drained cavity.

10.8.2 Exhaust systems

(1) An exhaust system installed in a kitchen, bathroom, sanitary compartment
or laundry must have a minimum flow rate of—
(a) 25 L/s for a bathroom or sanitary compartment; and
(b) 40 L/s for a kitchen or laundry.

(2) Exhaust from a kitchen, kitchen range hood, bathroom, sanitary
compartment or laundry must discharge directly or
via a shaft or duct to outdoor air.

(3) Where a venting clothes dryer is installed, it must discharge directly or via a
shaft or duct to outdoor air.

(4) An exhaust system that is not run continuously and is serving a bathroom or
sanitary compartment that is not ventilated in accordance with 10.6.2(a) must—
(a) be interlocked with the room's light switch; and
(b) include a run-on timer so that the exhaust system continues to operate for
10 minutes after the light switch is
turned off.

(5) Except for rooms that are ventilated in accordance with 10.6.2(a), a room
with an exhaust system in accordance with (1) must be provided with make-up
air—
(a) via openings to an adjacent room with a free area of 14,000 mm²; or
(b) in accordance with AS 1668.2.

(6) Except for rooms that are ventilated in accordance with 10.6.2(a), a room with
an exhaust system in accordance with (3) must be provided with make-up air in
accordance with AS 1668.2.

10.8.3 Ventilation of roof spaces
(1) In climate zones 6, 7 and 8, a roof must have a roof space that— (a) is
located:

(i) immediately above the primary insulation layer; or
(ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/
N.s, which is immediately

above the primary insulation layer; or
(iii) immediately above ceiling insulation that meets the requirements of 13.2.3(3)
and 13.2.3(4); and
(b) has a height of not less than 20 mm; and
(c) is either—

(i) ventilated to outdoor air through evenly distributed openings in accordance
with Table 10.8.3; or
(ii) located immediately underneath the roof tiles of an unsarked tiled roof.

(2) The requirements of (1) do not apply to a—
(a) concrete roof; or
(b) roof that is made of structural insulated panels; or
(c) roof that is subject to Bushfire Attack Level F2 requirements in accordance
with AS 3959.

Table 10.8.3 Ventilation of roof spaces

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BUILDING CALCULATIONS

NO	CONTROLS	PROPOSAL
1	LOT SIZE MIN.= 450-600m ²	LOT SIZE = 505.9m ²
2	LOT WIDTH MIN. REQ.= 12.00m	ACTUAL LOT WIDTH = 10.935m
3	DWELLING MAX. BLDNG FOOTPRINT. AREA = 330.00m ² SEC.DWELLING MAX. AREA = 60m ²	ACTUAL DWELLING AREA = (EX. 92.88m ²) NEW = 103.46m ² ACTUAL SEC. DWELLING AREA = (Exist.64.51m ²) NEW= 80.0m ²
4	SITE COVER =50% = 252.95m ²	TOTAL DWELLING AREA = 163.46m ² ACTUAL SITE COVER = 35.18% = 177.98m ²
5	DWELLING BLDNG HEIGHT MAX.= 8.50m S/DWELLING BLDNG HEIGHT MAX.= 3.80m	ACTUAL DWELLING BLDNG HEIGHT MAX.= 5.59m ACTUAL S/DWELLING BLDNG HEIGHT MAX.= 3.80m
6	SIDE S/BACK MIN.= 0.90m	ACTUAL SIDE SETBACK MIN.= 0.930m
7	REAR SETBACK MIN.= 3.00m	ACTUAL REAR SETBACK = 3.010m
8	LANDSCAPED AREA MIN.= 25% = 126.48m ²	ACTUAL LANDSCAPED AREA = 25.65% = 129.76m ²
9	S/WATER PERVIOUS AREA= 30%= 151.77m ²	ACTUAL S/WATER PERVIOUS AREA = 31.40% = 158.88m ²
10	PRIVATE COURTYARD AREA = 24.0m ²	PRIVATE COURTYARD DWELLING-AREA A = 65.86m ² PRIVATE COURTYARD S/DWELLING-AREA B = 32.96m ²

PROPOSED LANDSCAPED AREA CALCULATIONS
A 8.28 m ²
LAND AREA = 505.9m ²
SOFT LANDSCAPED AREA REQ. = 25% = 126.48m ²
PERVIOUS AREA CALCULATIONS AREA
A=64.07m ²
B=65.69m ²
C=6.82m ²
D=22.30m ²
TOTAL 129.76m ² 25.65% OF SITE AREA

PROPOSED STORMWATER SOFT AREA CALCULATIONS
A 8.28 m ²
LAND AREA = 505.9m ²
STORMWATER SOFT AREA REQ. = 30% = 151.77m ²
PERVIOUS AREA CALCULATIONS AREA
A=64.07m ²
B=65.69m ²
C=6.82m ²
D=22.30m ²
TOTAL 158.88m ² 31.40% OF SITE AREA

This D.A Application is seeking the following approvals:

ALL BLUE NOTES INDICATE UN AUTHORISED WORK ALREADY DONE
= SUBJECT TO A BIC APPLICATION LODGED AT THE SAME TIME.

1. MAIN DWELLING:

Approval of **unauthorised works** already carried out on this property which include the
following:

a) Additions at the rear of the existing dwelling shown in colour on the as built floor plan,
this work is **ALREADY DONE** and is also subject to a BIC application at the same time
with the DA application lodgement.

b) Alterations to the existing dwelling which include items such as;
Demolition and removal of the existing front enclosed verandah, new windows all around
the existing dwelling- this work is **ALREADY DONE** as shown in colour on the as built floor
plan.

2. OUTBUILDING:

Approval of **unauthorised construction works** carried out which include the following:

a) Unauthorised internal partitions to an approved outbuilding structure -this work is
ALREADY DONE and is also subject to a BIC application at the same time with the DA
application lodgement.

b) Conversion of the outbuilding into a secondary dwelling- this is **ALREADY DONE** and is
subject to this DA application for a changed of use.

This D.A Application is seeking the following approvals:

ALL RED NOTES INDICATE WORK TO BE DONE= A FUTURE C.C APPLICATION.

1. MAIN DWELLING:

Approval of **proposed works** to be carried out on this property which include the
following:

a) Cement render the existing dwelling all around - this work is **TO BE DONE**;
b) Complete the storm water drainage to the dwelling -this work is **TO BE DONE**;
c) Complete landscaping to the dwelling- this work is **TO BE DONE**;

2. OUTBUILDING:

Approval of the use of the existing outbuilding into a **SECONDARY DWELLING**.

Works to be done include the following:

a) Relocation of the kitchen area in the secondary dwelling to new position- shown in
colour on the plan-this work is **TO BE DONE**;
b) Alterations to the floor plan to comply with the floor area as required- this is also work
TO BE DONE;
c) Re organise the storm water drainage to accommodate a rainwater tank-this is also
work **TO BE DONE**;
d) Adaptation of the Silver level Details as per Dwg. No. A06.-work **TO BE DONE**.

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48 ERNEST STREET LAKEMBA NSW

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EX. OUT/BLDING TO SEC. DWELLING
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Accreditation No.6667
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BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)
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SITE ANALYSIS PLAN/SITE PLAN &
NOTES /ALCULATIONS
drawing
525-181 A01 A
project drawing no. issue
12/6/25

ERNEST STREET

ERNEST STREET

ERNEST STREET

PROPOSED - FLOOR PLANS (WORK TO BE DONE) & SITE PLANS 1:100

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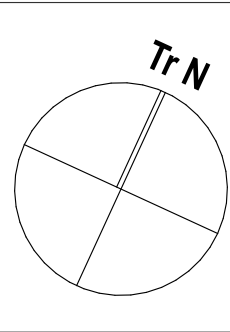
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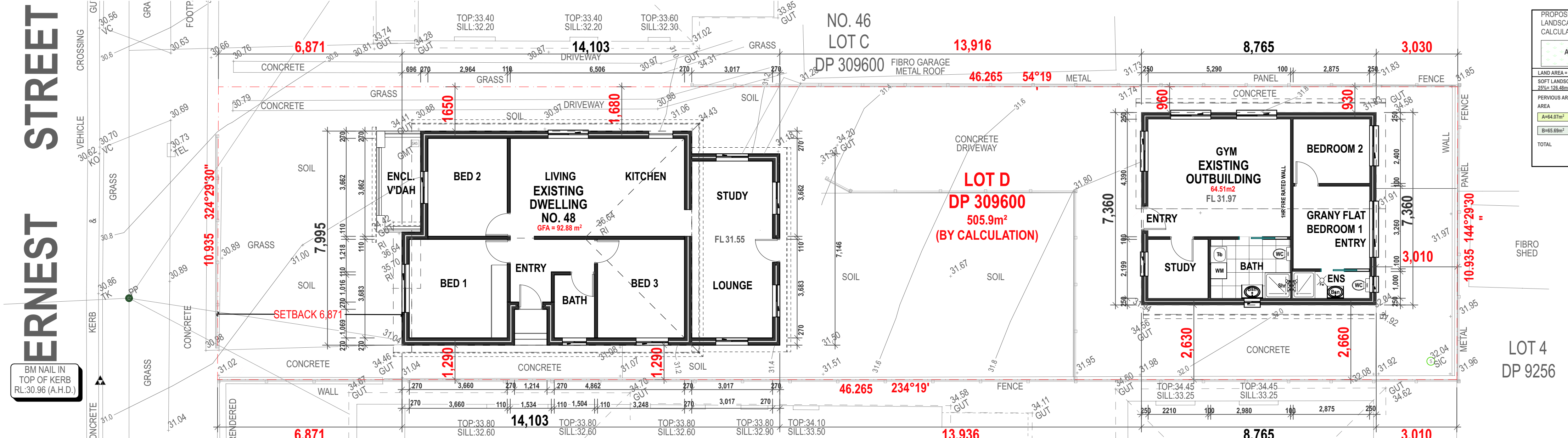
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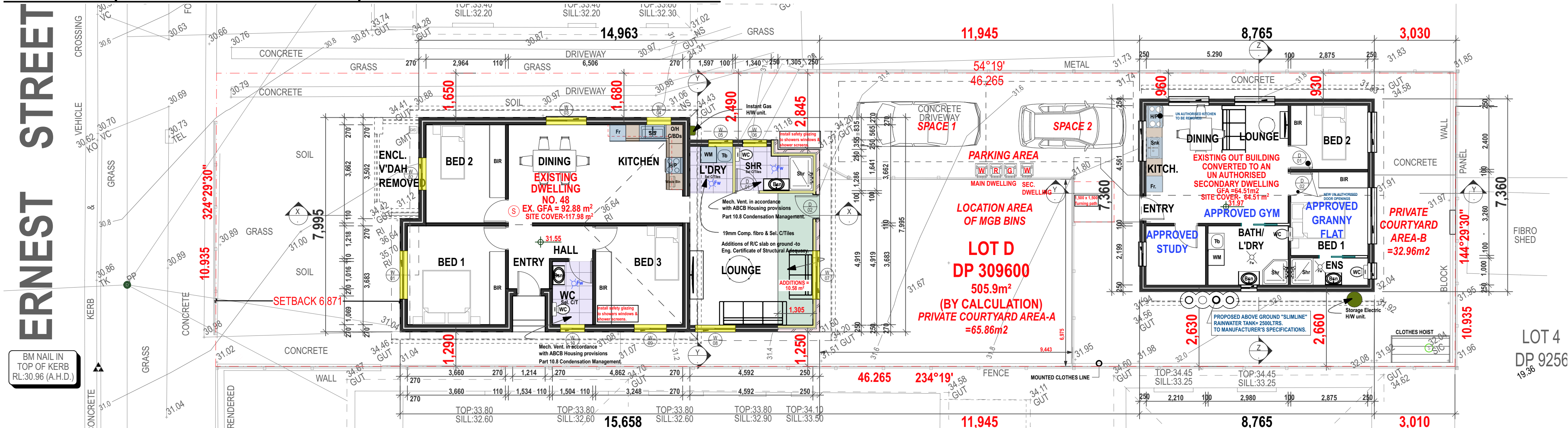
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BUILDING DESIGNER
Accreditation No.6667
Registration Class
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)
Registration Number DEP0001690



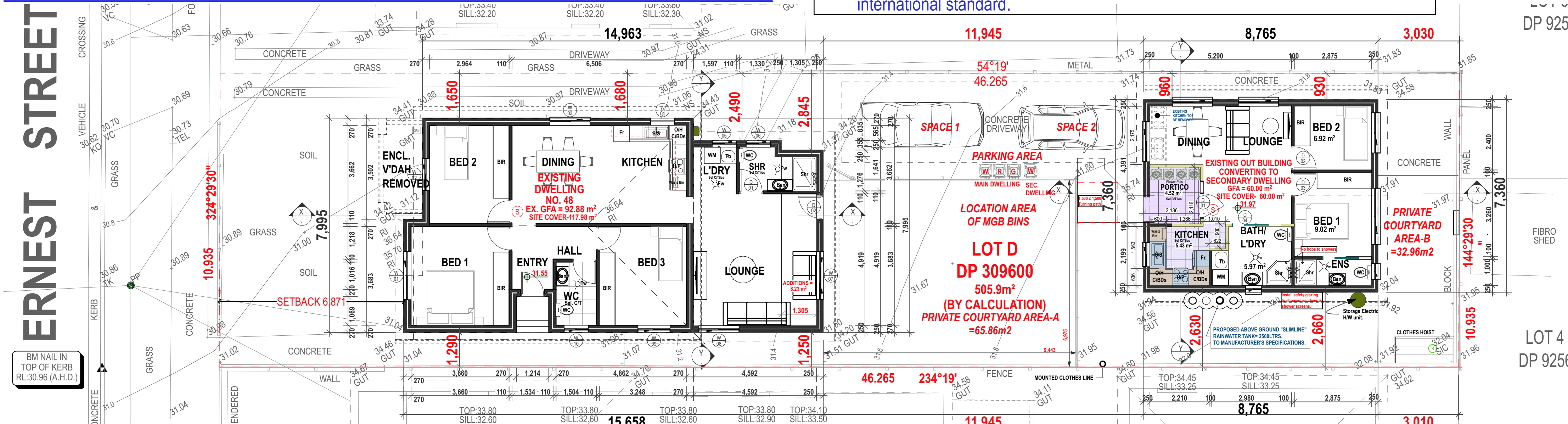
EXIST & PROP.DWELLING & S. DWEL.FLOOR PLAN & SITE PLAN.
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issue
12/6/25



EXISTING (ORIGINAL APPROVED) FLOOR PLAN & SITE PLAN 1:100



UN AUTHORISED AS -BUILT PLANS - FLOOR PLANS & SITE PLANS 1:100



PROPOSED LANDSCAPED AREA CALCULATIONS
A 8.28 m²
LAND AREA = 505.9m²
100% LANDSCAPED AREA REQ = 505.9m²
PERVIOUS AREA CALCULATIONS
A=4.47m²
B=6.60m²
TOTAL 11.07m²
21.69% OF SITE AREA

PROPOSED STORMWATER SOFT AREA CALCULATIONS
A 8.28 m²
LAND AREA = 505.9m²
100% LANDSCAPED AREA REQ = 505.9m²
PERVIOUS AREA CALCULATIONS
A=4.47m²
B=6.60m²
TOTAL 11.07m²
21.69% OF SITE AREA

BUILDING CALCULATIONS

NO	CONTROLS	PROPOSAL
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3	DWELLING MAX. BLDG FOOTPRINT, AREA = 330.00m²	ACTUAL DWELLING AREA = (EX) 92.88m² NEW = 103.46m² ACTUAL SEC. DWELLING AREA = (EXIST) 64.51m² NEW= 60.02m²
4	SITE COVER =50% = 252.95m²	TOTAL DWELLING AREA = 163.46m² ACTUAL SITE COVER = 35.18% = 177.98m²
5	DWELLING BLDG HEIGHT MAX = 5.50m SIDEWELLING BLDG HEIGHT MAX = 3.80m	ACTUAL DWELLING BLDG HEIGHT MAX = 5.59m ACTUAL SIDEWELLING BLDG HEIGHT MAX = 3.80m
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SMOKE ALARM
(S) DENOTES
CEILING MOUNTED SMOKE ALARM CONNECTED TO MAINS POWER SUPPLY WITH BATTERY BACK.
AS PER: BCA: CLASS 1a BUILDING IN ACCORDANCE WITH 9.5.2 & 9.5.4 AS 1803; AS1670:AS3786 & AS1851.8

WINDOW SCHEDULE - MAIN DWELLING				
WINDOW REF No.	WINDOW TYPE (REFER DRAWINGS)	X (HORIZ.) DIMENSION STRUCTURAL, OPENING CHECK ON SITE	Y (VERTICAL) DIMENSION STRUCTURAL, OPENING CHECK ON SITE	SILL HEIGHT FROM FFL
1	ALUM. FRAME SL WINDOW	1800mm	1500mm	800mm
2	ALUM. FRAME SL WINDOW	1200mm	1500mm	800mm
3	ALUM. FRAME SL WINDOW	1500mm	1500mm	800mm
4	ALUM. FRAME FIXED WINDOW	900mm	500mm	1100mm
5	HIGH ALUM. FRAME SL WINDOWS FROSTED	900mm	900mm	1500mm
6	ALUM. FRAME SL WINDOW	1800mm	1350mm	800mm
7	ALUM. FRAME SL WINDOW	1500mm	1350mm	800mm
8	ALUM. FRAME SL WINDOW	1200mm	1350mm	800mm
9	HIGH ALUM. FRAME SL WINDOWS FROSTED	900mm	600mm	1500mm

DOOR SCHEDULE - MAIN DWELLING

DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ.) DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL) DIMENSION STRUCTURAL OPENING CHECK ON SITE
①	HOLLOW CORE SWING DOOR	900 mm	2100mm
②	SOLID CORE DOOR	900 mm	2100mm

DOOR SCHEDULE - SECONDARY DWELLING

DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ.) DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL) DIMENSION STRUCTURAL OPENING CHECK ON SITE
①	HOLLOW CORE SWING DOORS	900 mm	2100mm
②	HOLLOW CORE SL DOORS	900 mm	2100mm

WINDOW SCHEDULE

DOOR SCHEDULE

This D.A Application is seeking the following approvals:
ALL BLUE NOTES INDICATE UN AUTHORISED WORK ALREADY DONE
= SUBJECT TO A BIC APPLICATION LODGED AT THE SAME TIME.

1. MAIN DWELLING:

Approval of unauthorised works already carried out on this property which include the following:

- Additions at the rear of the existing dwelling shown in colour on the as built floor plan, this work is ALREADY DONE and is also subject to a BIC application at the same time with the DA application lodgement.
- Alterations to the existing dwelling which include items such as; Demolition and removal of the existing front enclosed verandah, new windows all around the existing dwelling- this work is ALREADY DONE as shown in colour on the as built floor plan.

2. OUTBUILDING:

Approval of unauthorised construction works carried out which include the following:

- Un authorised internal partitions to an approved outbuilding structure -this work is ALREADY DONE and is also subject to a BIC application at the same time with the DA application lodgement.
- Conversion of the outbuilding into a secondary dwelling- this is ALREADY DONE and is subject to this DA application for a changed of use.

This D.A Application is seeking the following approvals:
ALL RED NOTES INDICATE WORK TO BE DONE= A FUTURE C.C APPLICATION.

1. MAIN DWELLING:

Approval of proposed works to be carried out on this property which include the following:

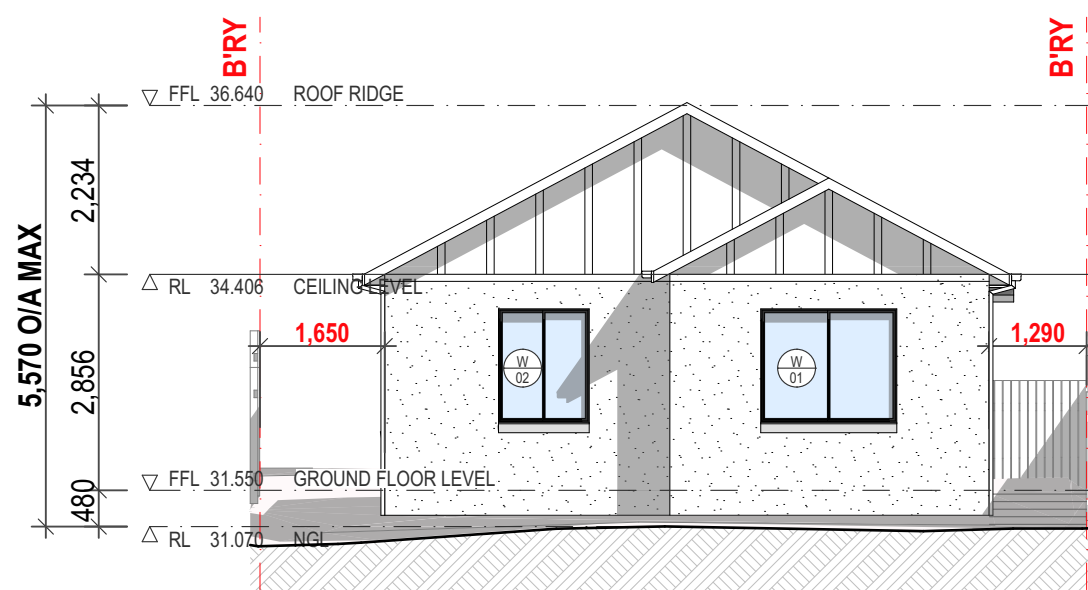
- Cement render the existing dwelling all around - this work is TO BE DONE;
- Complete the storm water drainage to the dwelling -this work is TO BE DONE;
- Complete landscaping to the dwelling- this work is TO BE DONE;

2. OUTBUILDING:

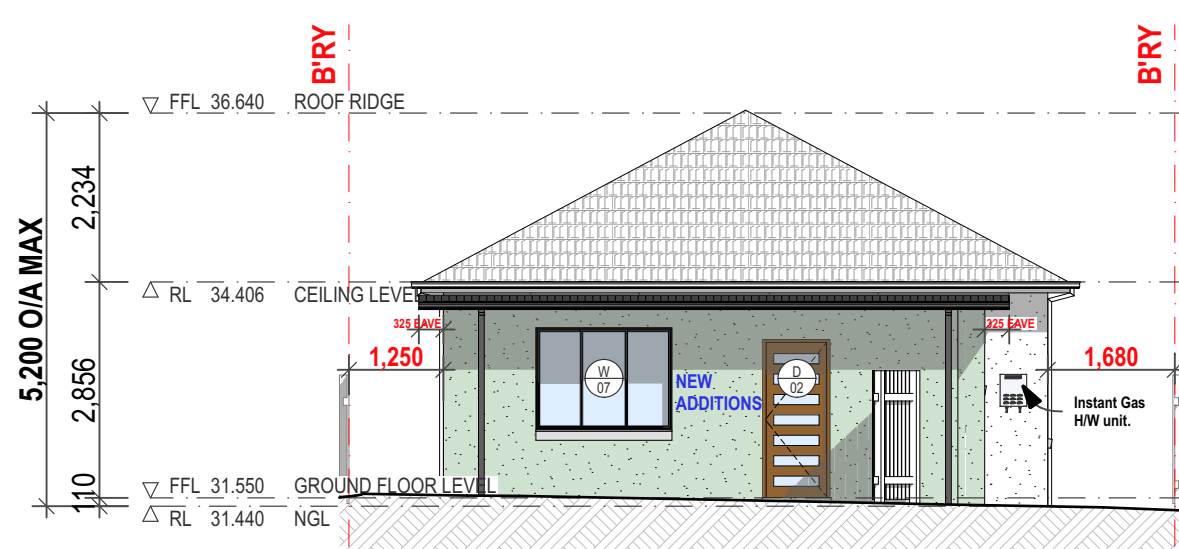
Approval of the use of the existing outbuilding into a SECONDARY DWELLING.

Works to be done include the following:

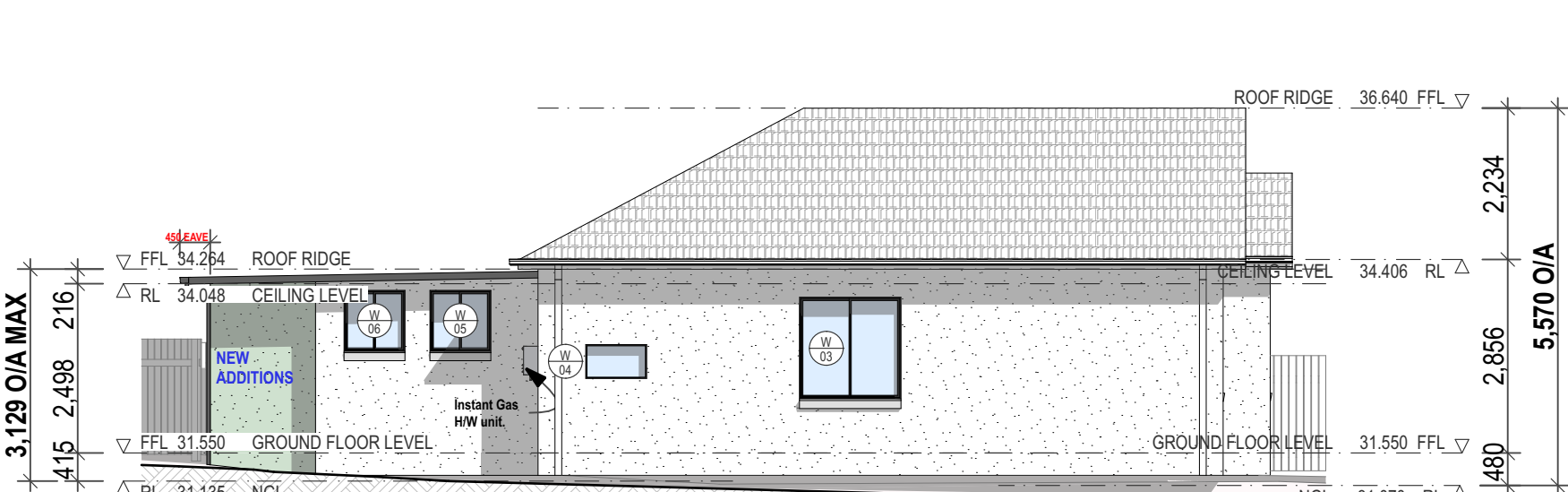
- Relocation of the kitchen area in the secondary dwelling to new position- shown in colour on the plan-this work is TO BE DONE;
- Alterations to the floor plan to comply with the floor area as required- this is also work TO BE DONE;
- Re organise the storm water drainage to accommodate a rainwater tank-this is also work TO BE DONE;
- Adaptation of the Silver level Details as per Dwg. No. A06-work TO BE DONE.



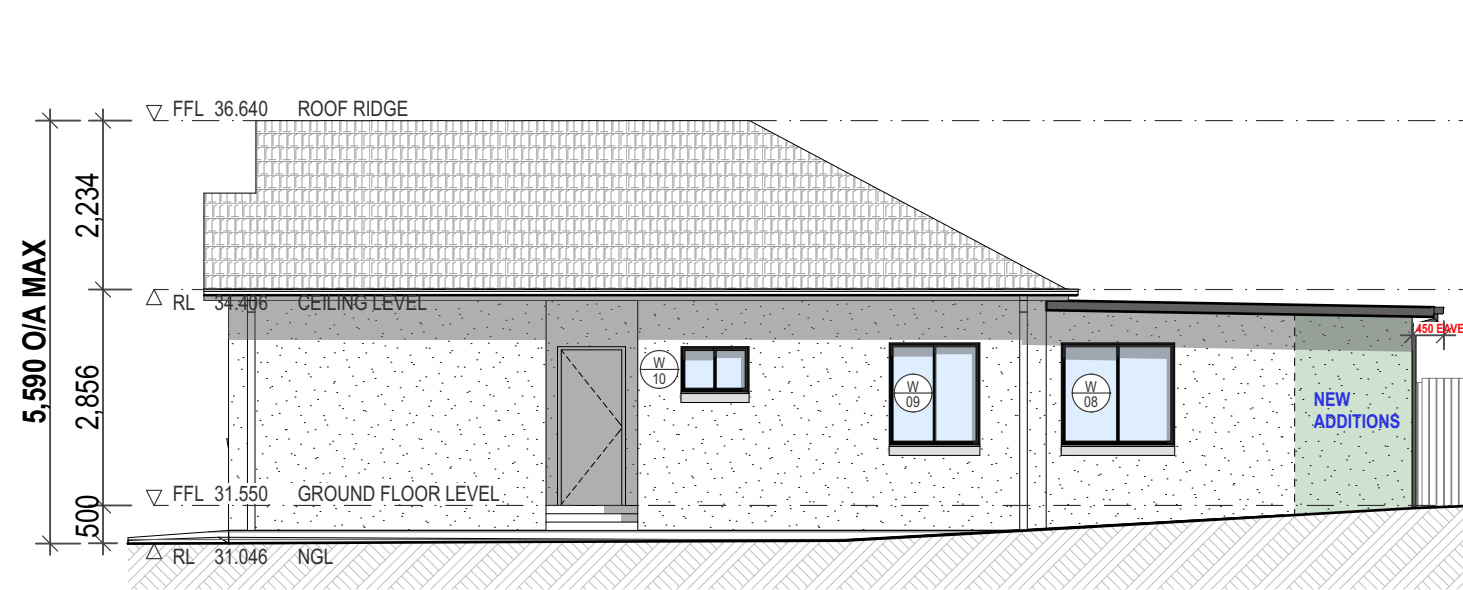
FRONT ELEVATION-WEST 1:100



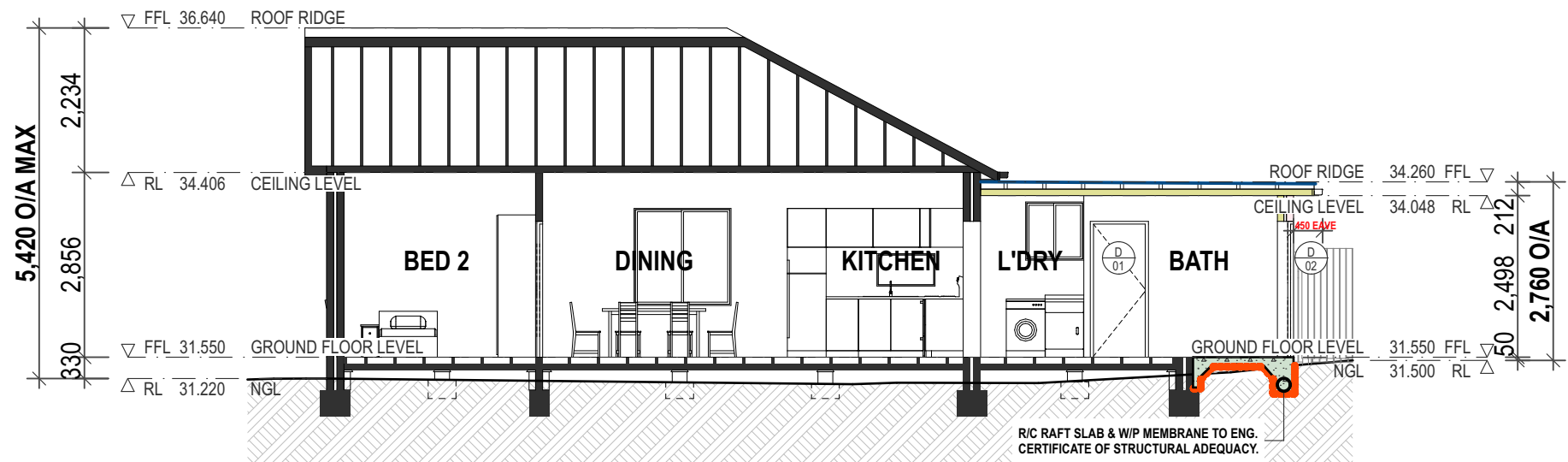
REAR ELEVATION-EAST 1:100



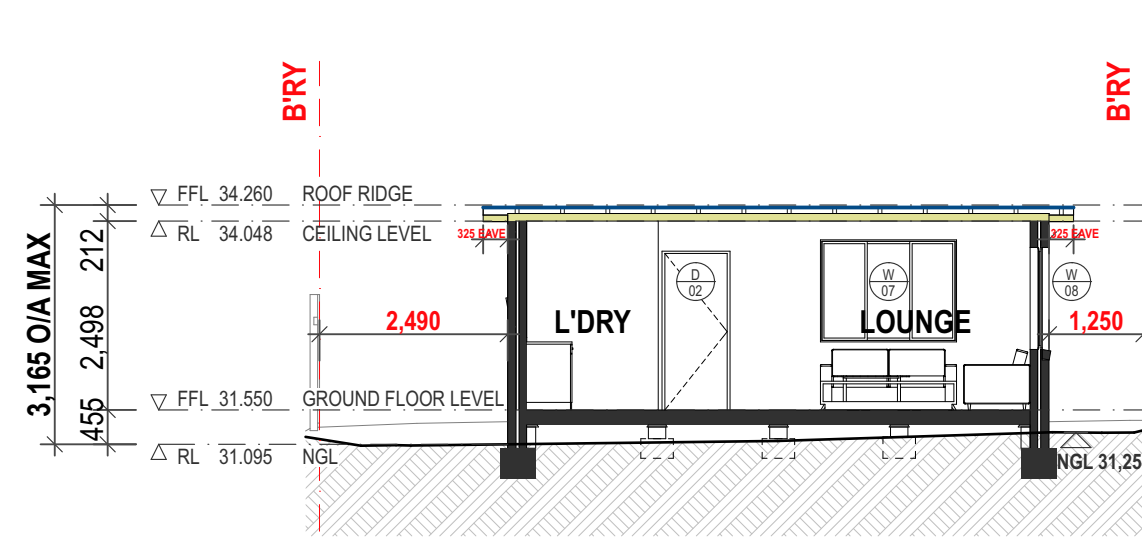
SIDE ELEVATION-NORTH 1:100



SIDE ELEVATION-SOUTH 1:100



SECTION X-X 1:100



SECTION Y-Y 1:100

This D.A Application is seeking the following approvals:

1. MAIN DWELLING:

Approval of **unauthorised works** carried out on this property which include the following:

a) Additions at the rear of the existing dwelling shown in colour on the as built floor plan, this work is **ALREADY DONE** and is also subject to a BIC application at the same time with the DA application lodgement.

b) Alterations to the existing dwelling which include items such as demolition and removal of the existing front enclosed verandah, new windows all around the existing dwelling- this work is **ALREADY DONE** as shown in colour on the as built floor plan.

SPECIFICATIONS:
MAIN DWELLING

ROOF CONSTRUCTION:
METAL DECK ROOF.
PITCH = 2 DEGREES MINIMUM FALL.
EAVE = 450mm WITH GUTTER.
ROOF SHEETING AS PER SCHEDULE OF EXTERNAL FINISHES.
GUTTERS/DOWN PIPES- SEL. COLORBOND.
DOWN PIPES TO BE CONNECTED AND DISCHARGE TO STREET'S GUTTER VIA AN UPDATED EXISTING STORM WATER SYSTEM.
ALL WORK & MATERIALS UNDER THE CARPENTER'S TRADE SHALL COMPLY TO AS 1684.2- 2010 CODE.
ALL STRUCTURAL ROOF TIMBER MEMBER SIZES TO ENGINEERING CERTIFICATE OF STRUCTURAL ADEQUACY.
10mm PLASTER BOARD SHEETING TO CEILING LINING WITH 100mm SEL CORNICE.
FIBRO SHEETING TO EAVES LINING.
ROOF & CEILING TO BE INSULATED AS PER BASIX CERTIFICATE.

WALL CONSTRUCTION:
EXTERNAL WALLS =250mm BRICK VENEER WALLS.
WITH 12mm CEMENT RENDER & SEL. PAINT FINISH AS PER SCHEDULE OF EXTERNAL FINISHES.
INTERNAL WALLS = 100mm TIMBER FRAME WALLS.
10mm PLASTER BOARD SHEETING TO WALLS INTERNALLY.
ALL WORK & MATERIALS TO CONFORM TO AS 1684.2-2010 CODE.
ALL STRUCTURAL WALL TIMBER MEMBER SIZES TO ENGINEERING CERTIFICATE OF STRUCTURAL ADEQUACY.

FLOOR CONSTRUCTION:
R/C RAFT SLAB - WITH W/P MEMBRANE ON THE U/S OF THE SLAB.
TO ENGINEERING DESIGN CERTIFICATE OF STRUCTURAL ADEQUACY.

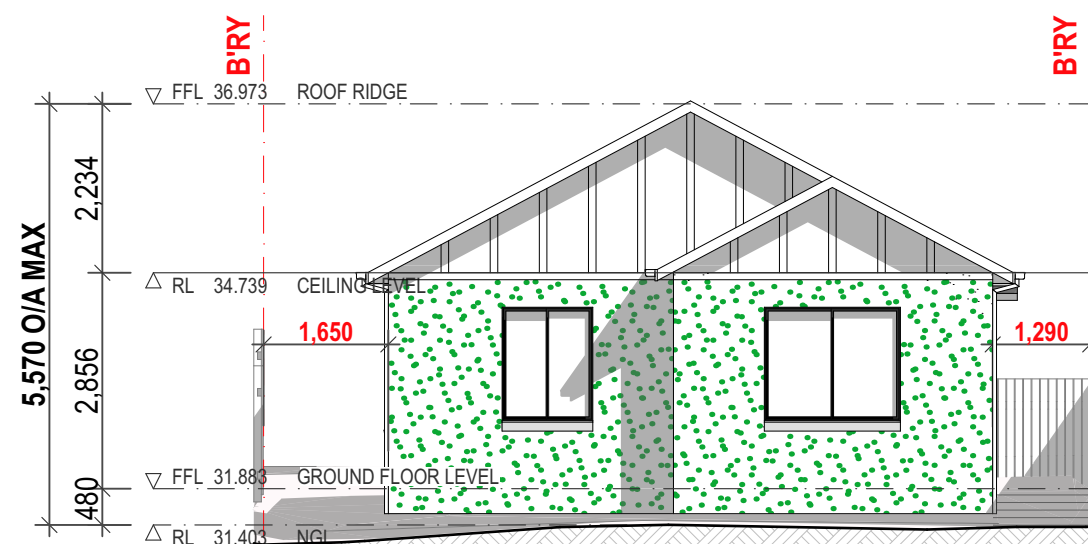
WINDOWS:
ALUMINIUM FRAME SLIDING WINDOWS -
TO WINDOW SCHEDULE, BASIX CERTIFICATE & SCHEDULE OF FINISHES.
LAMINATED GLASS, FLY SCREENS & LOCKS TO BE INCLUDED.

DOORS:
EXTERNAL DOORS- SEL. SOLID CORE W/P DOOR.
INTERNAL DOORS- SEL. HOLLOW CORE DOOR.
TO DOOR SCHEDULE.
ALL HARDWARE TO BE INCLUDED.

**PROVIDE MECHANICAL VENTILATION CONNECTED TO THE LIGHT SWITCH FOR BOTH SHOWER & LAUNDRY.
PROVIDE & INSTALL APPROVED SAFETY GLASS TO ALL SHOWERS & SHR & LAUNDRY WINDOWS.**

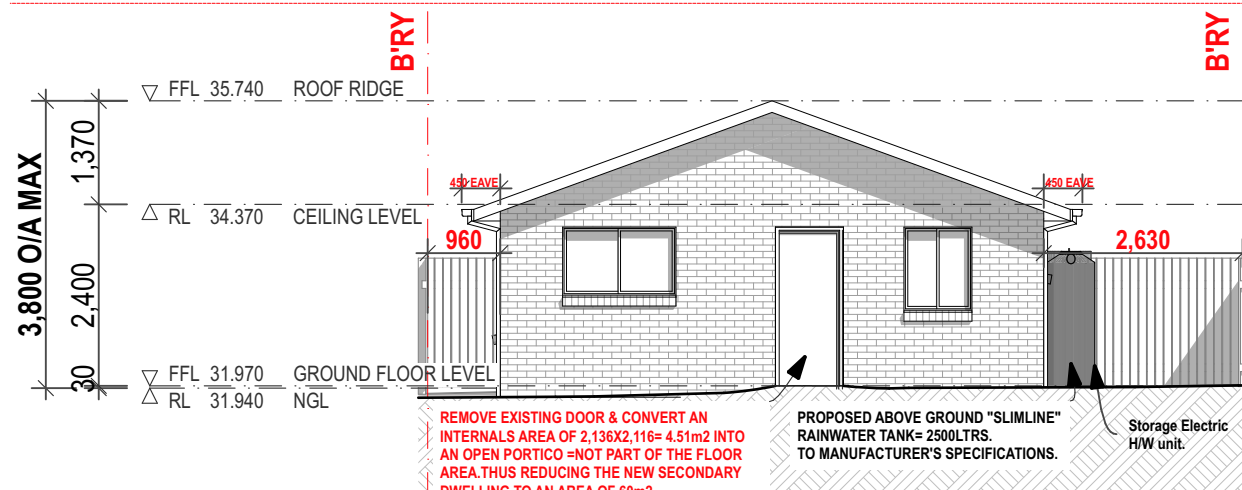
AS BUILT ELEVATIONS & SECTIONS OF MAIN DWELLING 1:100

ALL BLUE NOTES INDICATE UN AUTHORISED WORK ALREADY DONE

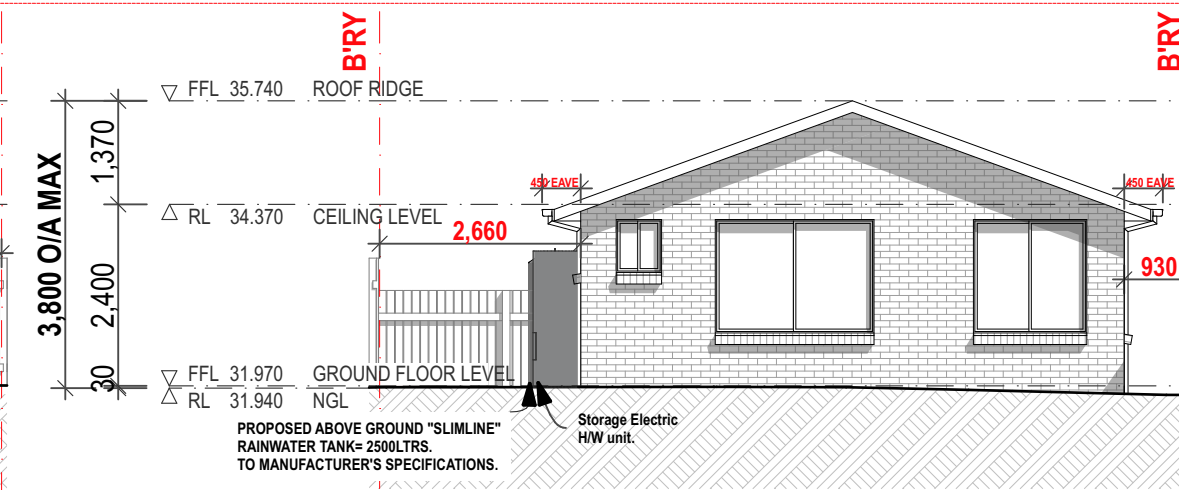


ELEVATIONS OF THE MAIN DWELLING -(WORK TO BE DONE) 1:100

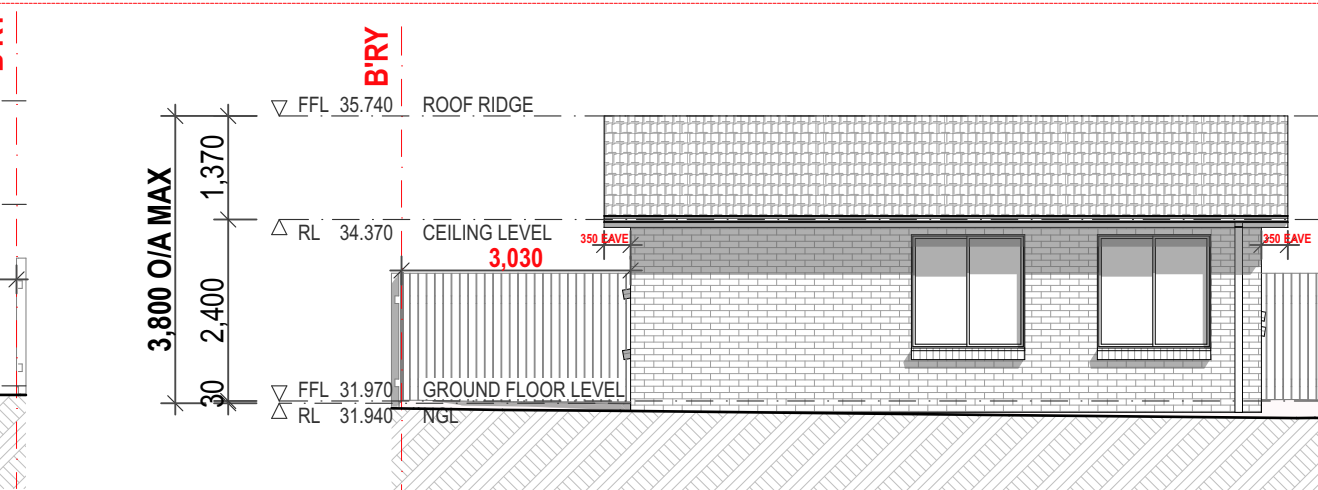
ALL RED NOTES INDICATE WORK TO BE DONE= A FUTURE C.C APPLICATION.



FRONT ELEVATION-WEST 1:100



REAR ELEVATION-EAST 1:100



SIDE ELEVATION-NORTH 1:100



SIDE ELEVATION-SOUTH 1:100

This D.A Application is seeking the following approvals:

2. OUTBUILDING:

Approval of **unauthorised works** carried out which include the following:

a) Un **authorised** internal partitions to an approved outbuilding structure -this work is **ALREADY DONE**.and is also subject to a BIC application at the same time with the DA application lodgement.

b) Conversion of the outbuilding into a Secondary Dwelling- this is **ALREADY DONE** and is subject to this DA application for a change of use.

This D.A Application is seeking the following approvals:

2. OUTBUILDING:

Approval of the use of the existing outbuilding into a **SECONDARY DWELLING**.

Works to be done include the following:

a) Relocation of the kitchen area in the secondary dwelling to new position- shown in colour on the plan- this work is **TO BE DONE**.

b) Alterations to the floor plan to comply with the Floor Area as required- this is also work **TO BE DONE**.

c) Re organise the storm water drainage to accommodate a rainwater tank- this is also work **TO BE DONE**.

d) Adaptation of the Silver level Details as per Dwg. No. A06.-**TO BE DONE**.

SPECIFICATIONS:
SECONDARY DWELLING

ROOF CONSTRUCTION:
TILED PITCHED ROOF.
PITCH = 20 DEGREES MINIMUM. EAVES = 450mm WITH GUTTERS.
ROOF TILES AS PER SCHEDULE OF EXTERNAL FINISHES.
GUTTERS/DOWN PIPES- SEL. COLORBOND.
DOWN PIPES TO BE CONNECTED AND DISCHARGE TO STREET'S GUTTER VIA THE EXISTING DWELLING'S STORM WATER SYSTEM.
ALL WORK & MATERIALS UNDER THE CARPENTER'S TRADE SHALL COMPLY TO AS 1684.2- 2010 CODE.
ALL STRUCTURAL ROOF TIMBER MEMBER SIZES TO ENGINEERING CERTIFICATE OF STRUCTURAL ADEQUACY.
10mm PLASTER BOARD SHEETING TO CEILING LINING WITH 100mm SEL CORNICE.
FIBRO SHEETING TO EAVES LINING.

WALL CONSTRUCTION:
EXTERNAL WALLS =250mm BRICK VENEER WALLS.
INTERNAL WALLS = 100mm TIMBER FRAME WALLS.
10mm PLASTER BOARD SHEETING TO WALLS INTERNALLY.
ALL WORK & MATERIALS TO CONFORM TO AS 1684.2-2010 CODE.
ALL STRUCTURAL WALL TIMBER MEMBER SIZES TO ENGINEERING CERTIFICATE OF STRUCTURAL ADEQUACY.

FLOOR CONSTRUCTION:
R/C RAFT SLAB - WITH W/P MEMBRANE ON THE U/S OF THE SLAB.
TO ENGINEERING CERTIFICATE OF STRUCTURAL ADEQUACY.

WINDOWS:
ALUMINIUM FRAME SLIDING WINDOWS -
TO WINDOW SCHEDULE, BASIX CERTIFICATE & SCHEDULE OF FINISHES.
LAMINATED GLASS, FLY SCREENS & LOCKS TO BE INCLUDED.

DOORS:
EXTERNAL DOORS- SEL. SOLID CORE W/P DOOR.
INTERNAL DOORS- SEL. HOLLOW CORE DOORS.
TO DOOR SCHEDULE.
ALL HARDWARE TO BE INCLUDED.

**PROVIDE MECHANICAL VENTILATION CONNECTED TO THE LIGHT SWITCH FOR BOTH SHOWER & LAUNDRY.
PROVIDE & INSTALL APPROVED SAFETY GLASS TO ALL SHOWERS & SHR & LAUNDRY WINDOWS.**

SECTION X-X 1:100

AS BUILT ELEVATIONS & SECTIONS OF THE SECONDARY DWELLING 1:100

ALL BLUE NOTES INDICATE UN AUTHORISED WORK ALREADY DONE

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A	DA SUBMISSION	12/06/25
rev	notes	date

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48 ERNEST STREET LAKEMBA NSW

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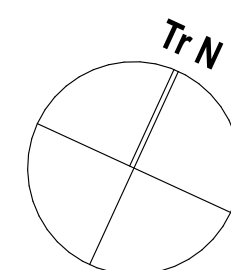
ALT'S & ADD'S TO MAIN DWELLING/CONV. OF EX. OUT/BLDING TO SEC. DWELLING project

48
ERNEST STREET
LAKEMBA
address

Ergo Designs P/L

building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

bdaa
ACCREDITED
BUILDING DESIGNER
Accreditation No.6667
Registration Class
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)
Registration Number DEP0001690

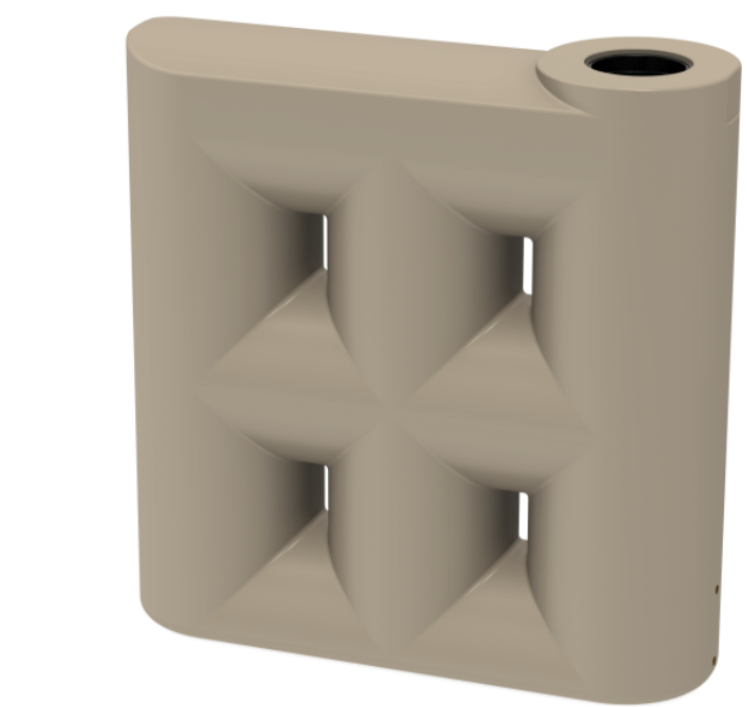
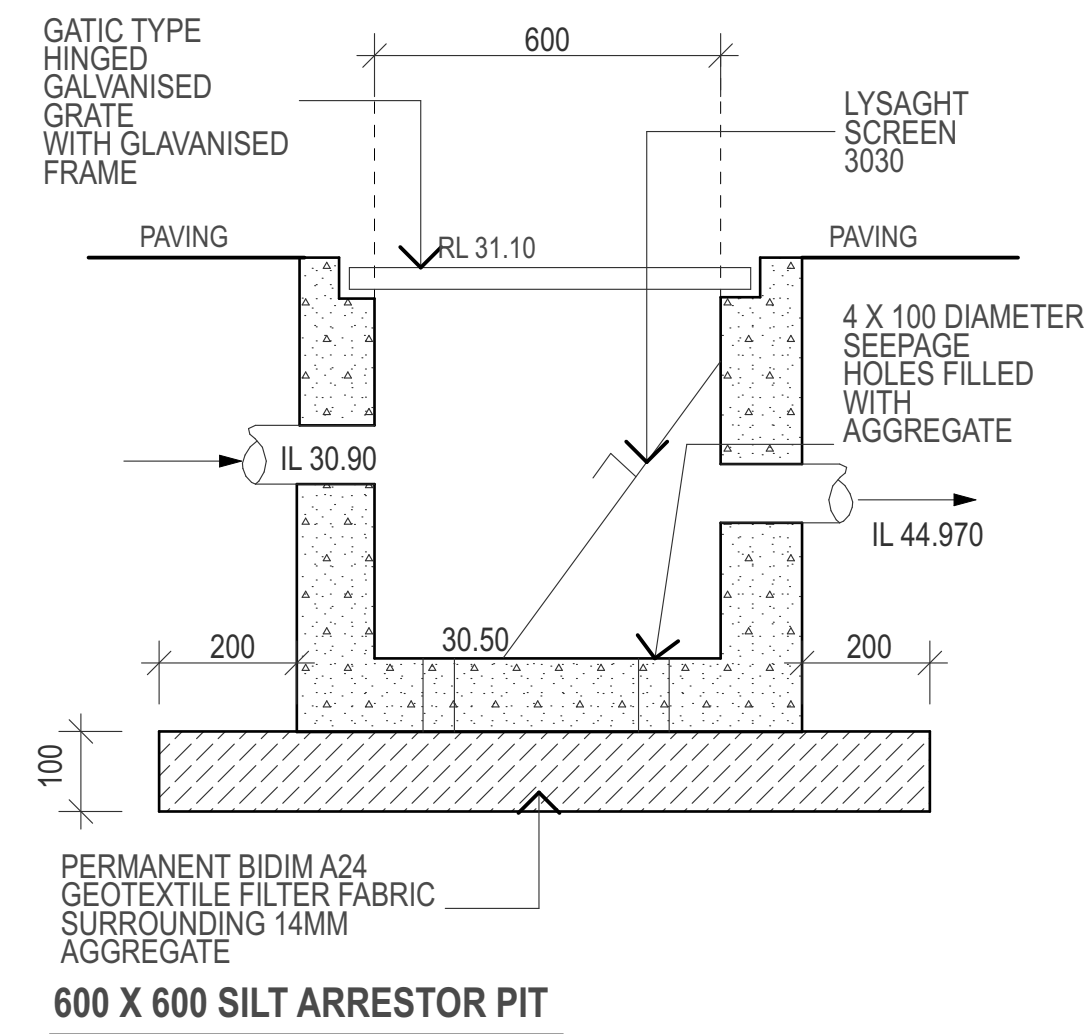
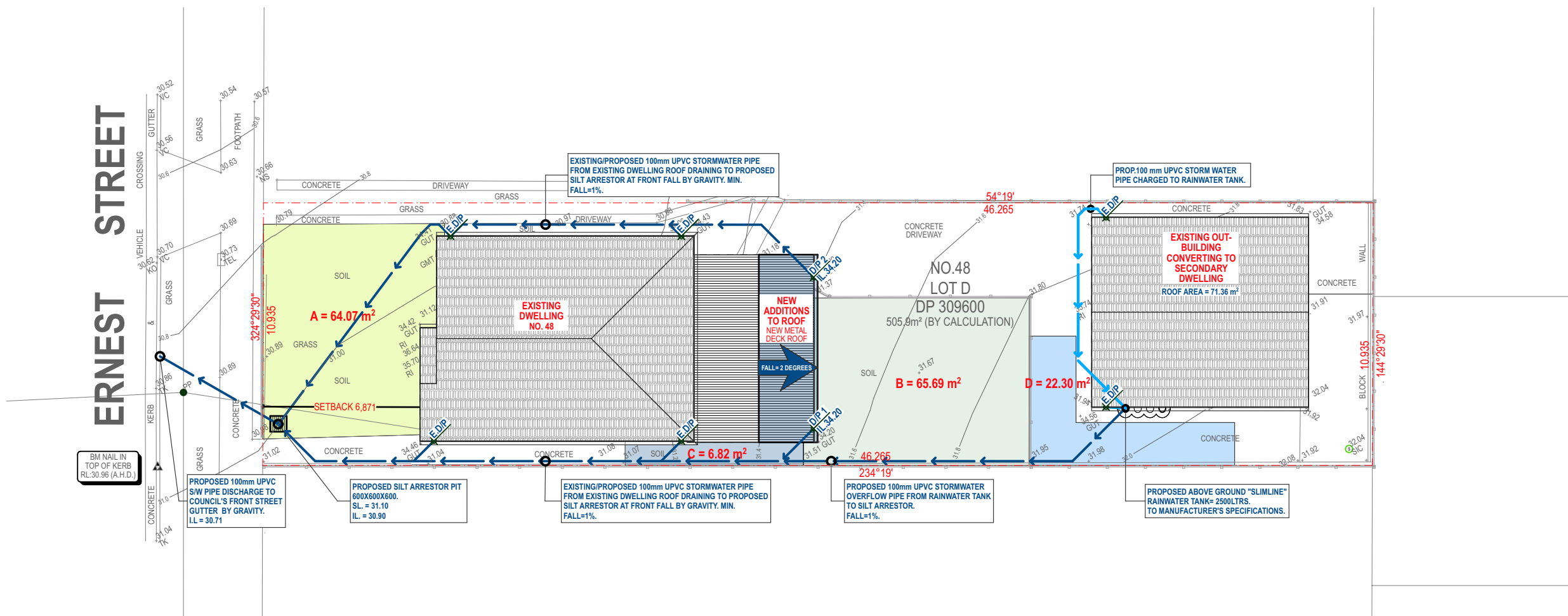


ELEVATIONS & SECTIONS
drawing

525-181
project

A03
drawing no.

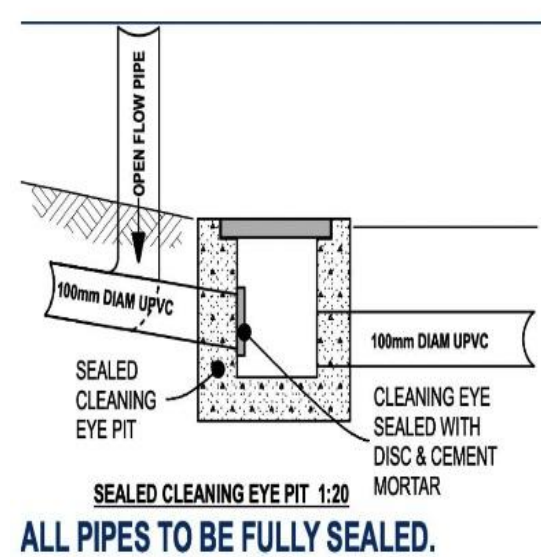
A
issue
12/6/25



2500L SLIMLINE WATER TANK
1900 L x 810 W x 2200 H
TO MANUFACTURER'S SPECIFICATIONS.

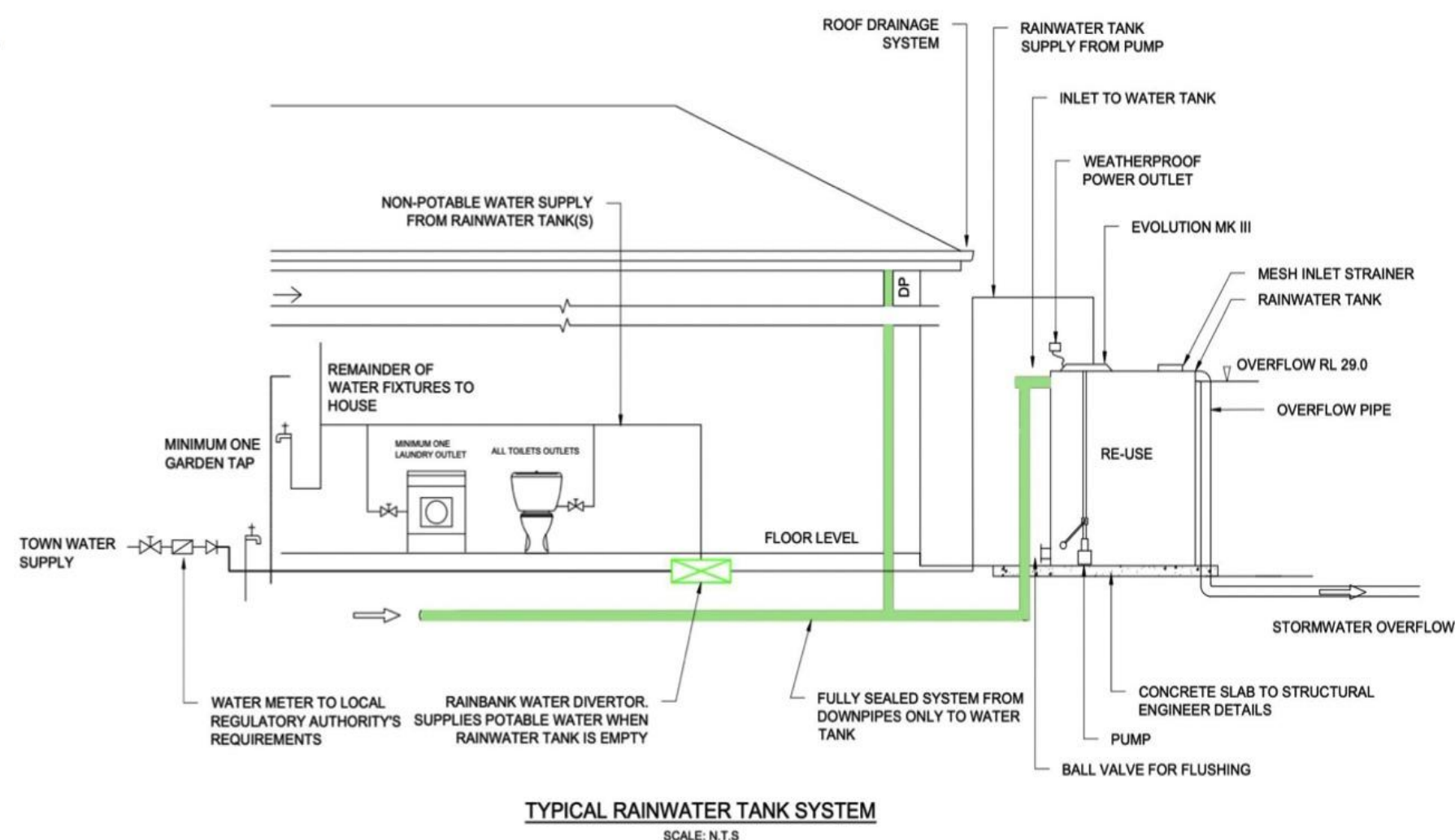
- STORMWATER NOTES
- LEGEND
- PROF. UNDERGROUND STORMWATER PIPING
 - PROF. OVER FLOW UNDERGROUND STORMWATER PIPING FROM RAINWATER TANK TO NEW SILT ARRESTOR.
 - EXIST. HOUSE UNDERGROUND STORMWATER PIPING - 100 DIA. NOM.
 - PROF. DOWNPIPE - 100 DIA. NOM.
 - EXIST. DOWNPIPE - 100 DIA. NOM.
 - RAIN WATER OUTLET
 - LINEAR GRATED SUMP 150 X 150MM NOM.
 - SILT ARRESTOR
 - 600 X 600 X 600 NOM.
- NOTES
- THIS DRAWING IS INDICATIVE OF THE STORMWATER DISCHARGE DESIGN CONCEPT ONLY.
- WATER RUN-OFF FROM PAVED AREAS IS TO BE ABSORBED AT THE PERIMETER GARDEN BEDS
- ALL NEW STORMWATER PIPING TO BE 150MM DIA. STORMWATER GRADE UPVC - TO HYDRAULIC ENGINEER'S DETAILS
- SIZING OF ALL NEW ROOF GUTTERS DOWNPIPES AND UNDERGROUND STORMWATER PIPES ARE TO BE VERIFIED BY HYDRAULIC CONTRACTOR ON SITE BEFORE THE COMMENCEMENT OF THE WORKS.
- ALL STORMWATER DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH A3500 & COUNCIL'S REQUIREMENTS.
- EXISTING STORMWATER PIPELINES ARE TO BE INSPECTED AND RECTIFIED OR REPLACE IF REQUIRED BY HYDRAULIC CONTRACTOR.

6 SILVER CRESCENT, WESTLEIGH NSW 2120
Telephone: (02) 9807 5355 Mobile: 0428 213 460 Email: eng@elli.com.au



RAINWATER TANK NOTES

RAINWATER TANKS ARE TO BE:
ERECTED ON A SELF-SUPPORTING BASE IN THE APPROVED LOCATION ON THE PROPERTY IN ACCORDANCE WITH THE STAMPED-APPROVED SITE PLANS FOR THE DEVELOPMENT.
STRUCTURALLY SOUND AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 1550:2018 NATIONAL PLUMBING AND DRAINAGE - WATER SUPPLY - ACCEPTABLE SOLUTIONS.
FULLY ENCLOSED AND ALL OPENINGS SEALED TO PREVENT ACCESS BY RODENTS.
FITTED WITH A FIRST FLUSH DEVICE.
FITTED WITH A TRICKLE SYSTEM TO TOP UP FROM MAINS WATER, PROVIDED WITH AN AIR GAP, AND
INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER'S PLUMBING REQUIREMENTS INFORMATION FOR RAINWATER TANK SUPPLIERS AND PLUMBERS APRIL 2007 AND THE NSW CODE OF PRACTICE: PLUMBING AND DRAINAGE.



STORM WATER DRAINAGE CONCEPT PLAN 1:200

NOTES :
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rev notes date

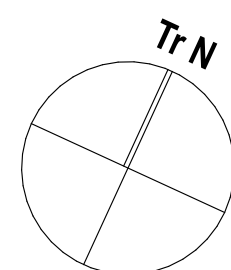
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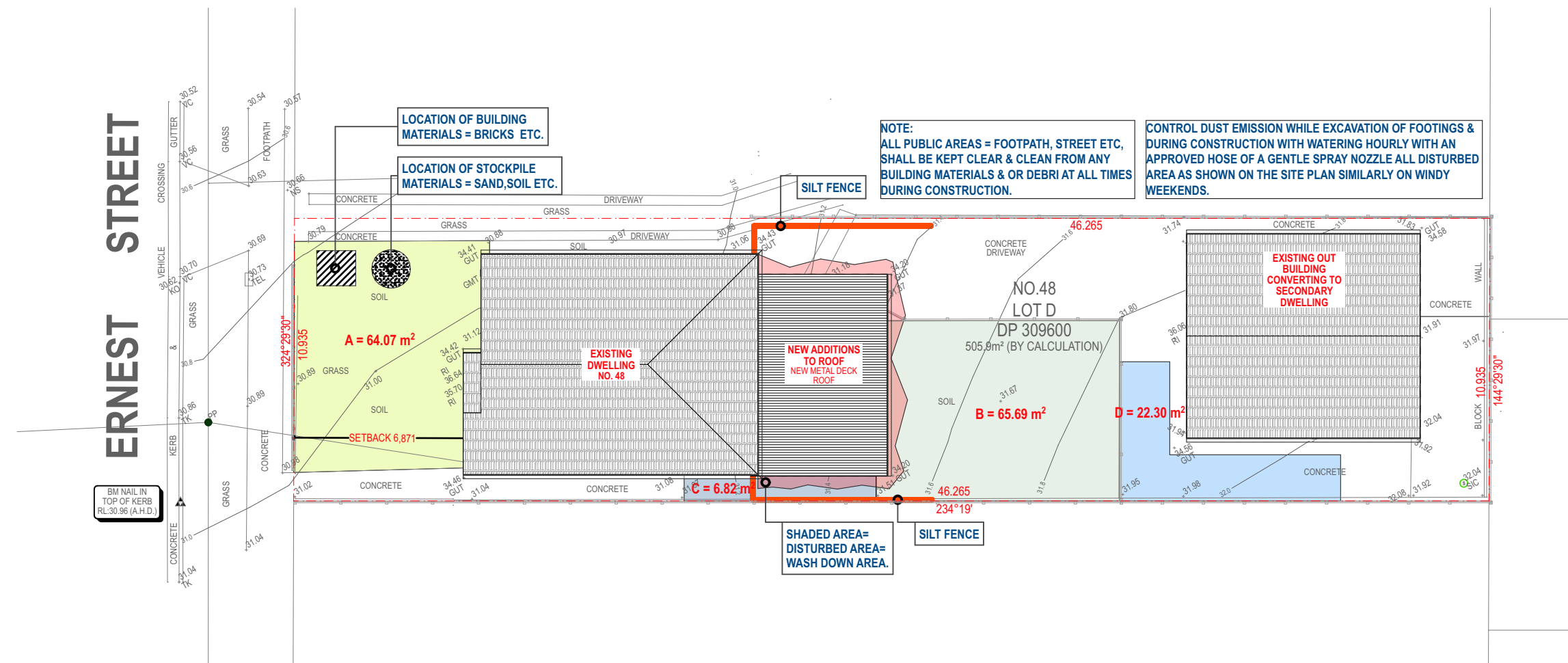
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bdaa
ACCREDITED
BUILDING DESIGNER
Accreditation No.6667
Registration Class
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)
Registration Number DEP0001690



S/W DRAIN. CONCEPT PLAN & EROSION-SED. CONTROL PLAN
drawing
525-181
project
A04
drawing no.
A
issue
12/6/25

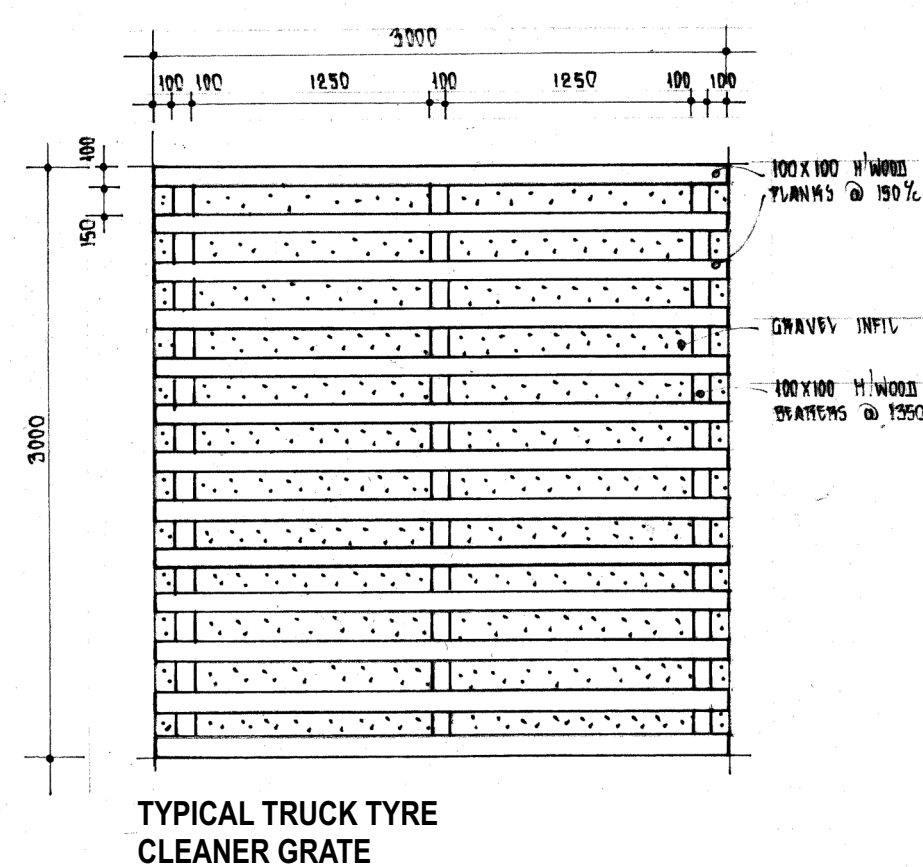
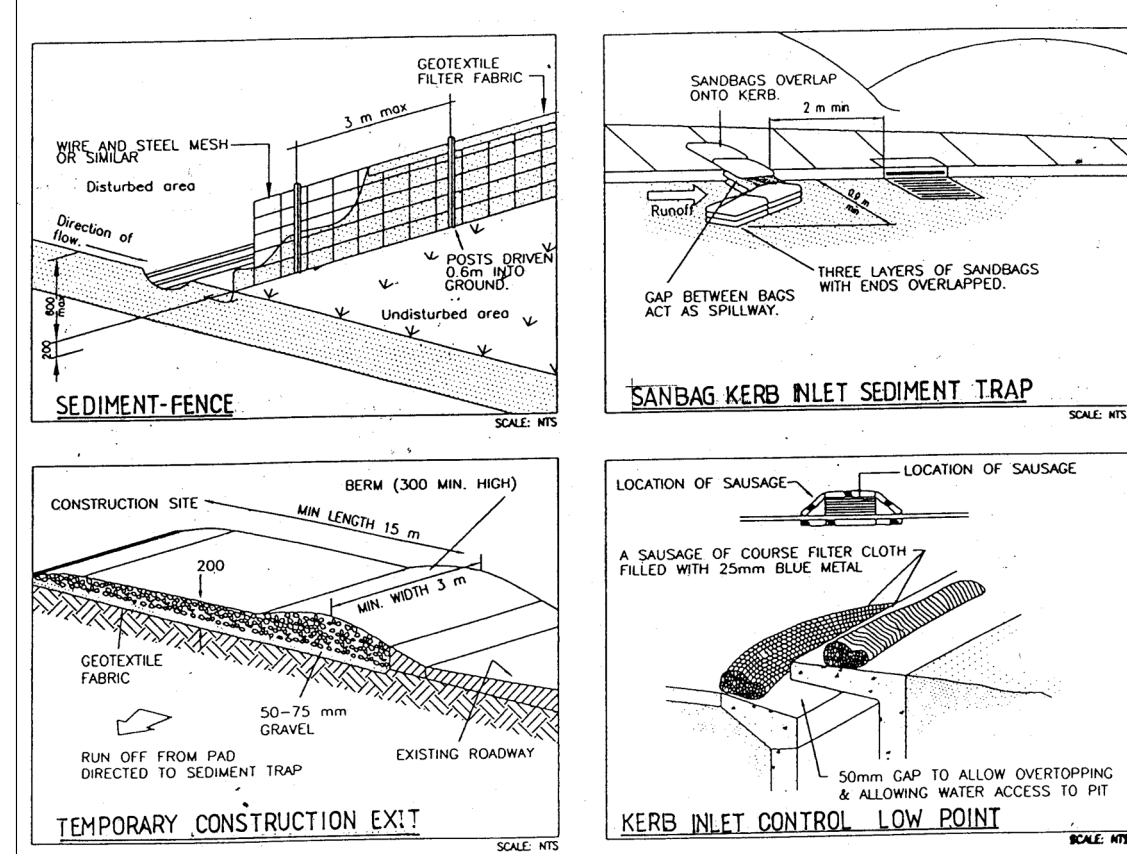
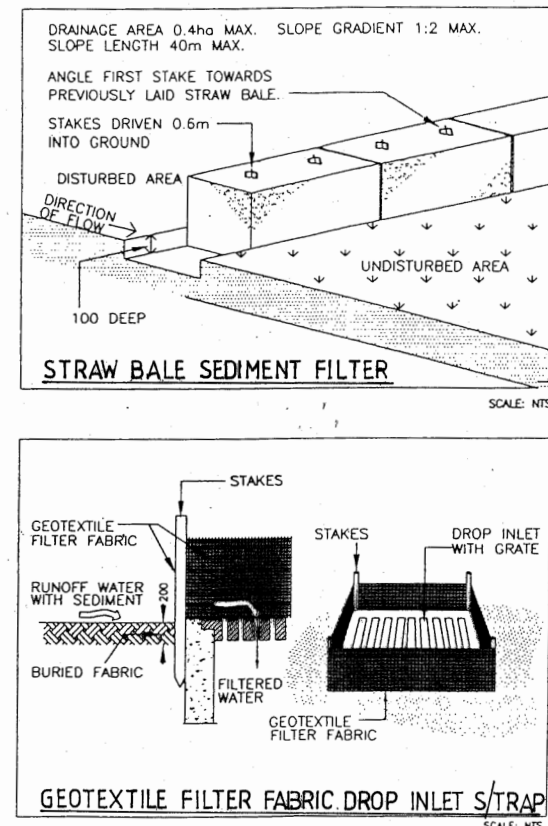


- NOTES:**
- ALL PRECAUTIONARY MEASURES ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AS CODES AND COUNCIL REGULATIONS AND ARE INCLUSIVE OF BUT NOT LIMITED TO THE MEASURES DESCRIBED ON THIS PLAN.
 - ALL PRECAUTIONARY MEASURES ARE TO BE ERRECTED AND MAINTAINED IN ACCORDANCE WITH THE RELEVANT AS CODES AND COUNCIL REGULATIONS.
 - NO RAW MATERIALS OR WASTE ARE NOT TO BE PURPOSEFULLY OR ACCIDENTALLY STORED IN PUBLIC SPACE EXCEPT WITHIN A TEMPORARY AND REMOVABLE WASTE BIN - AS INDICATED ON PLAN.
 - ENSURE THAT NO SAFETY HAZARDS ARE CREATED IN PUBLIC SPACE OR NEIGHBOURING PROPERTIES. SWEEP IMMEDIATE FOOTPATH AND ROADWAY DAILY OR NEIGHBOURING SURFACES IF REQUIRED TO BE FREE OF ALL DEBRIS AND DUST.
 - MINIMISE DISTURBED AREAS ON THE SITE BY KEEPING ACTIVITY AND STORAGE WITHIN THE BUILDING WORKS AREA AND THE FRONT YARD - AS DESCRIBED ON THE PLAN.
 - ENSURE THAT NO NEIGHBOURING GROUNDS OR BUILDINGS ARE DISTURBED WITH DEBRIS OR CONSTRUCTION MATERIALS.
 - ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOT PATHS, AND PLACED ON WATERPROOF MEMBRANE.
 - DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
 - ALL SURFACES IN CONSTRUCTION AND STORAGE ZONE WHICH ARE TO BE RETAINED SHALL BE PROTECTED OR REPAIRED TO PREVIOUS CONDITION OR BETTER.
 - ALL EROSION & SEDIMENT CONTROL MEASURES TO BE INSPECTED & MAINTAINED DAILY BY SITE MANAGER.
 - NON COMPLIANCE TO THIS SOIL, WATER AND CONSTRUCTION MANAGEMENT PLAN UPON INSPECTION BY AUTHORITIES WILL RESULT TO A \$1500 FINE.

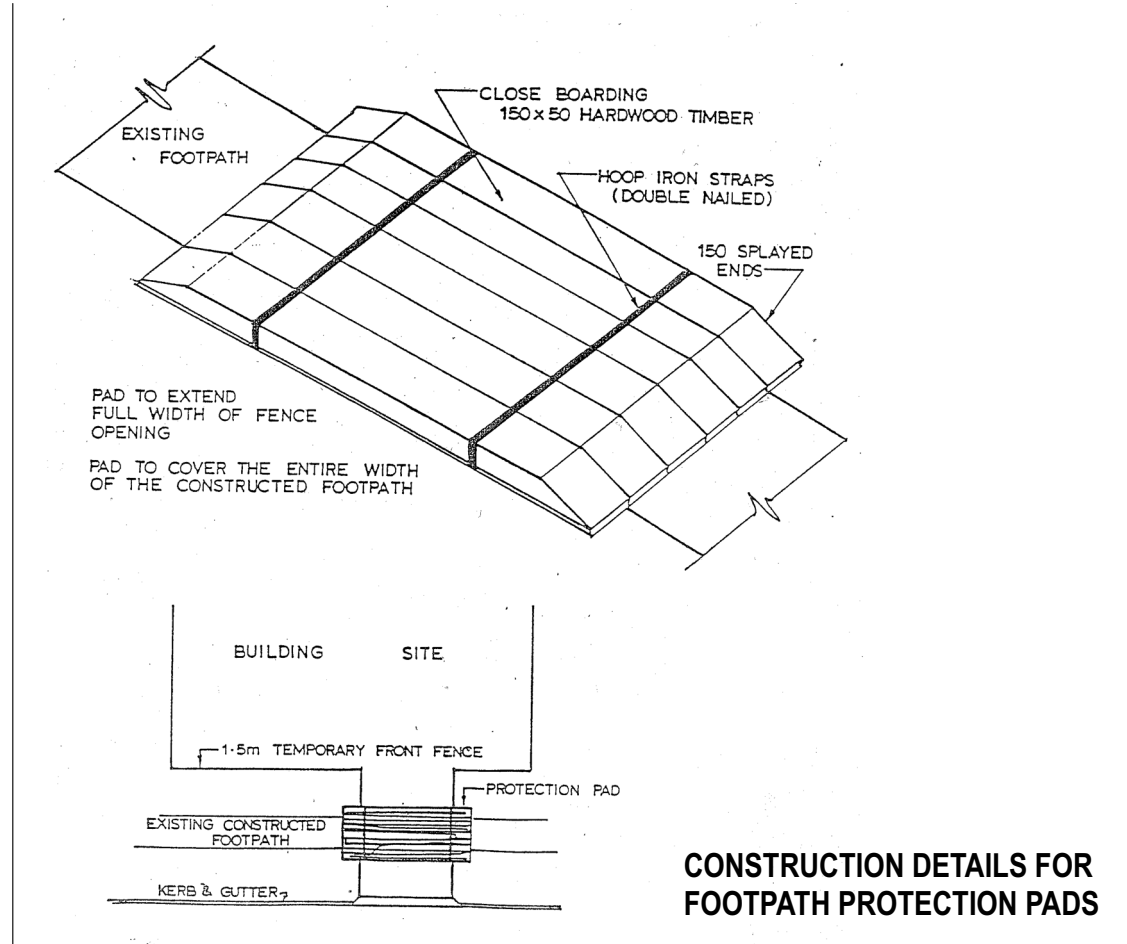
LEGEND:

- UNDISTURBED VEGETATION
- SILT FENCE
- STOCK PILES
- GEOTEXTILE FABRIC
- FABRIC FILLED WITH GRAVEL
- STORMWATER PIT

- SOIL CONSERVATION NOTES**
- A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.
- PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.
- CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED
- B. DURING CONSTRUCTION
- 1) SITUATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
 - 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
 - 3) ONCE IN PLACE, NO SITUATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
 - 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
 - 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

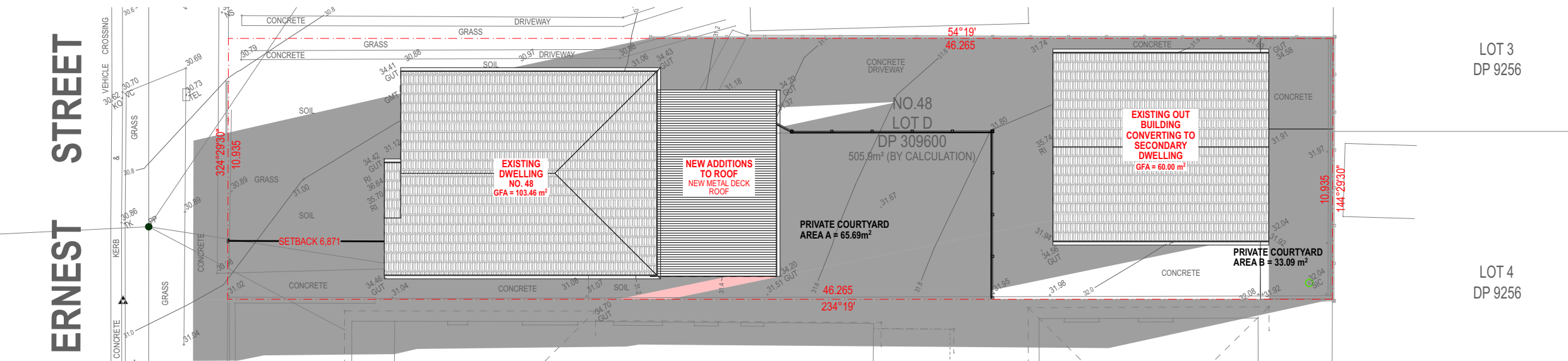


TYPICAL TRUCK TYRE
CLEANER GRATE

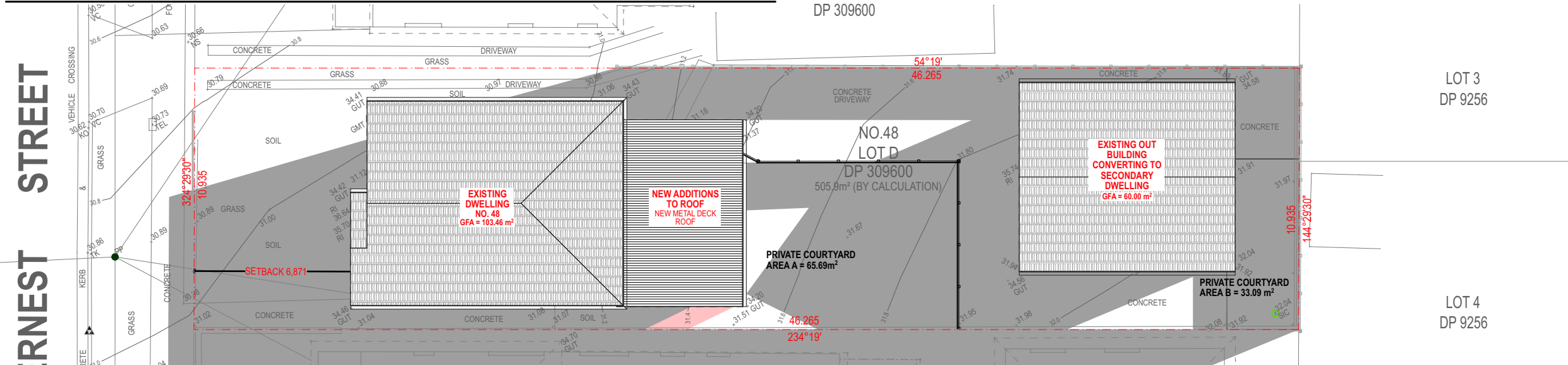


CONSTRUCTION DETAILS FOR
FOOTPATH PROTECTION PADS

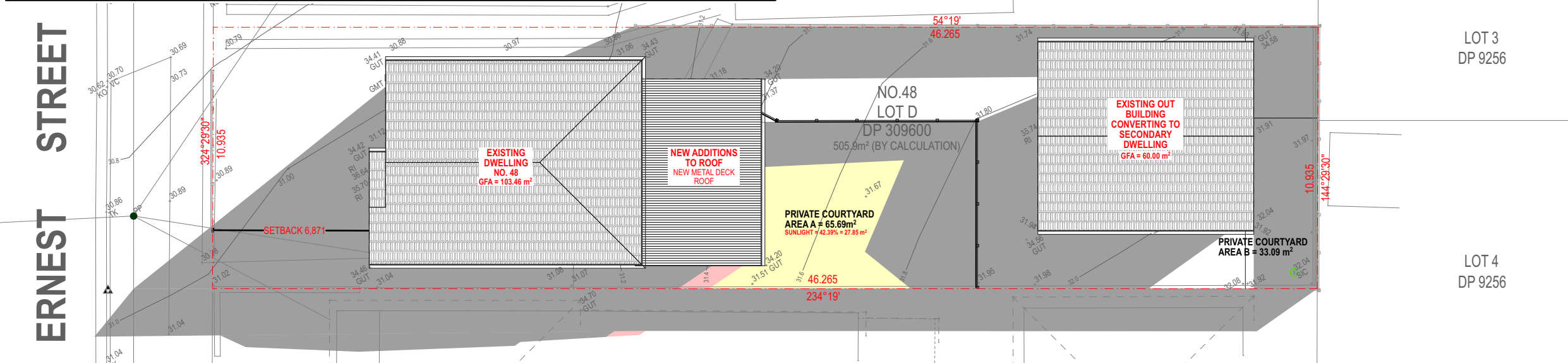
SITE MANAGEMENT PLAN & EROSION/SEDIMENT CONTROL PLAN 1:200



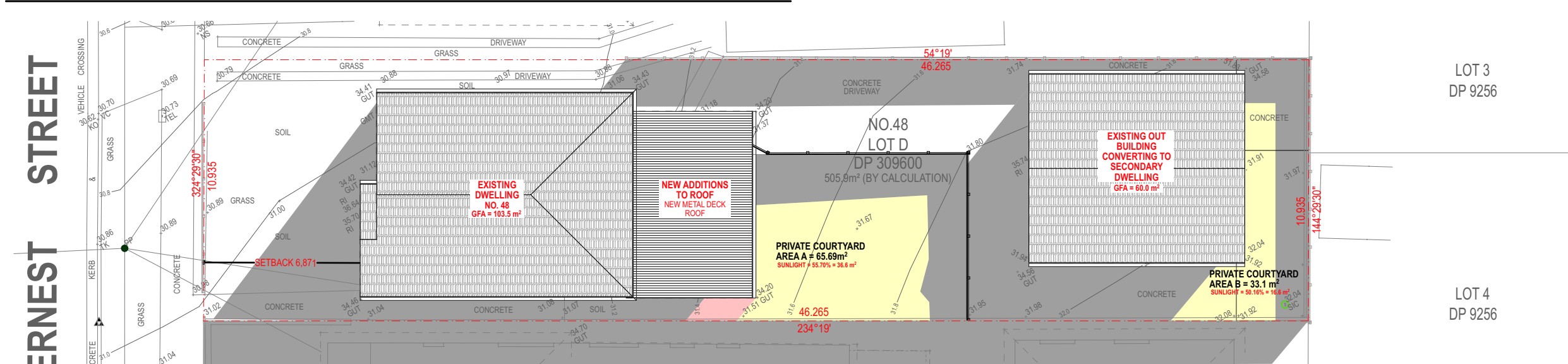
WINTER SHADOW DIAGRAMS-21st of June - 8:00am 1:200



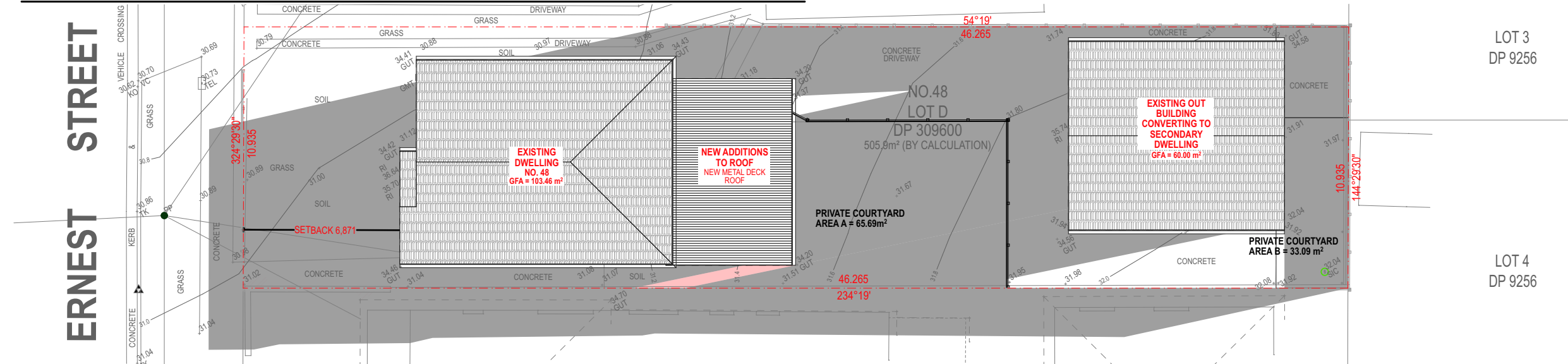
WINTER SHADOW DIAGRAMS-21st of June - 9:00am 1:200



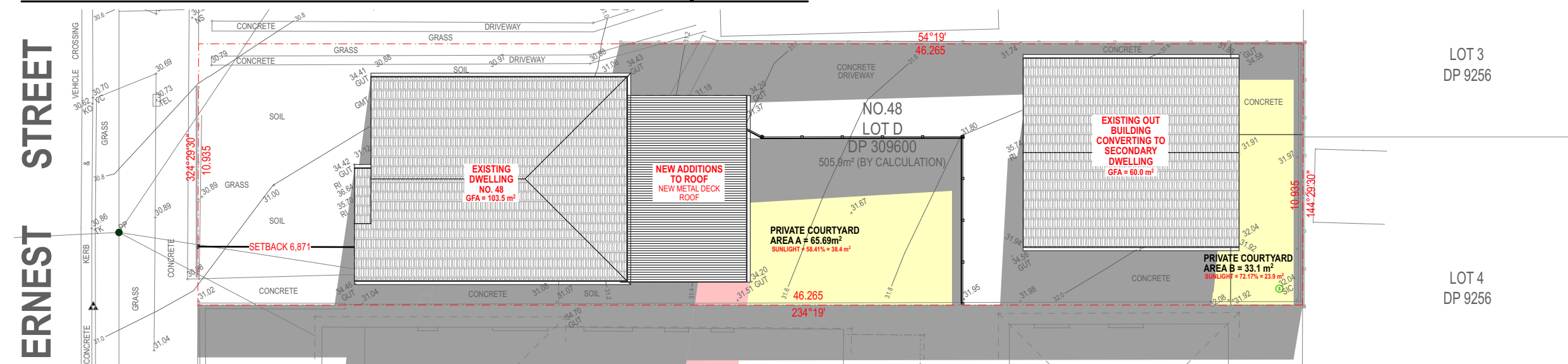
WINTER SHADOW DIAGRAMS-21st of June - 10:00am 1:200



WINTER SHADOW DIAGRAMS-21st of June - 11:00am 1:200



WINTER SHADOW DIAGRAMS-21st of June - 12:00pm 1:200



WINTER SHADOW DIAGRAMS-21st of June - 1:00pm 1:200

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A	DA SUBMISSION	12/06/25
rev	notes	date

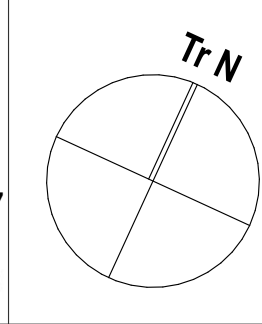
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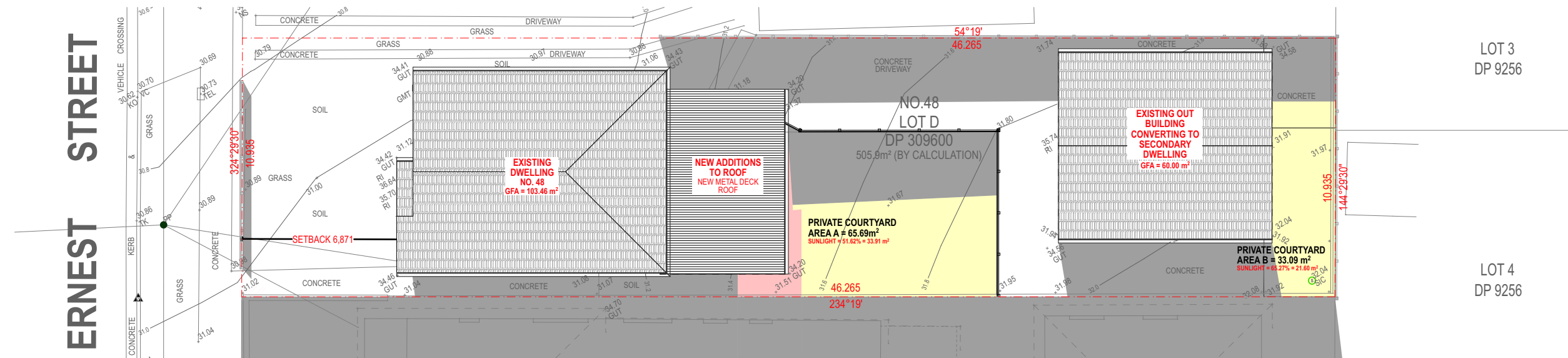
ALT'S & ADD'S TO MAIN DWELLING/CONV. OF EX. OUT/BLDING TO SEC. DWELLING project
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building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

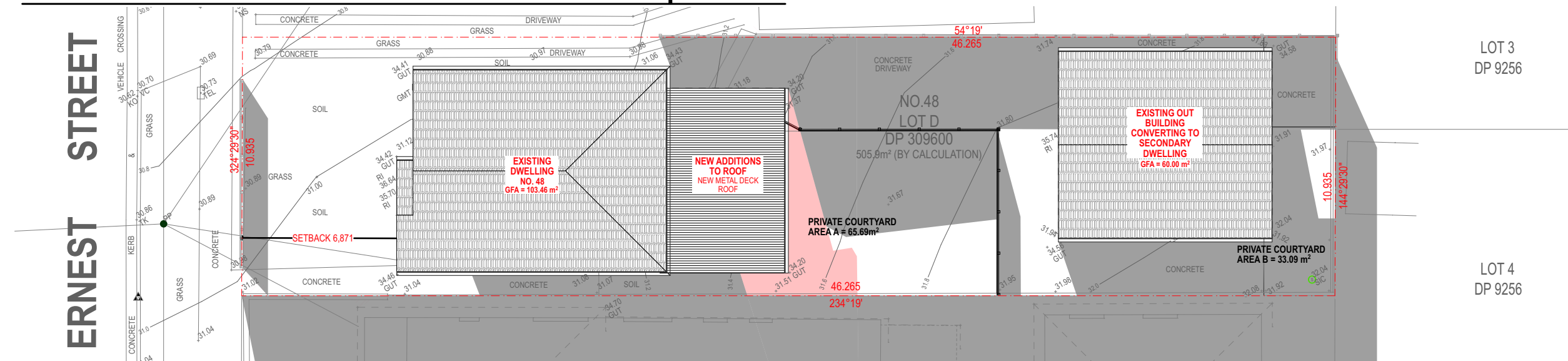
bdaa
ACCREDITED
BUILDING DESIGNER
Accreditation No.6667
Registration Class
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)
Registration Number DEP0001690



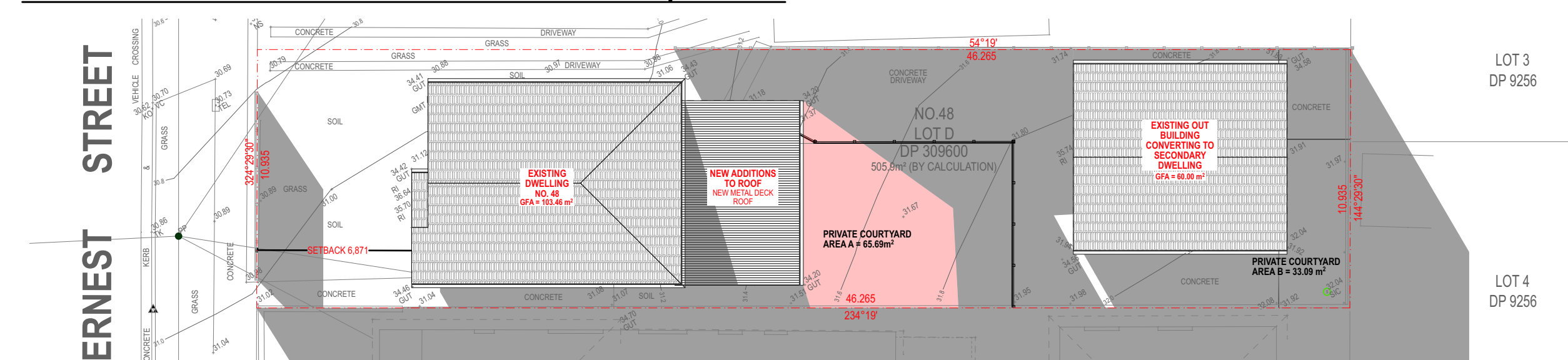
SHADOW DIAGRAMS-WINTER.
drawing
525-181
project
A05
drawing no.
A
issue
12/6/25



WINTER SHADOW DIAGRAMS-21st of June - 2:00pm 1:200



WINTER SHADOW DIAGRAMS-21st of June - 3:00pm 1:200



WINTER SHADOW DIAGRAMS-21st of June - 4:00pm 1:200

NOTES ON SHADOW DIAGRAMS
THESE SHADOW DIAGRAMS HAVE BEEN GENERATED BY COMPUTER CALCULATIONS USING THE SOFTWARE'ArchiCAD 27.0." SHADOW OUTLINES HAVE BEEN CAST ON GROUND PLANE ONLY.
DIAGRAMS SHOW SHADOW EFFECTS BY NO.48 ERNEST STREET LAKEMBA NSW FOR EXISTING AND PROPOSED CONDITIONS.
SHADOW AREAS DUE TO THE PROPOSED WORKS AT NO.48 ERNEST STREET LAKEMBA NSW HAVE BEEN SPECIALLY INDICATED BY YELLOW SHADING AND ANNOTATION DIRECTION OF TRUE NORTH HAS BEEN TRANSCRIBED FROM THE SITE SURVEY
PREPARED BY ERGO DESIGNS P/L.
SOLAR STATISTICS - 21 JUNE
TIME AZIMUTH ALTITUDE
9AM 42.5° NE 17°
12 PM 0° N 32°
3 PM 42.5° NW 17°
LEGEND
EXISTING SHADOW AREA OF EXISTING FENCE AT @ NO.48 ERNEST STREET LAKEMBA NSW .
ADDITIONAL SHADOW AREAS DUE TO PROPOSED NEW STRUCTURE AT NO.48 ERNEST STREET LAKEMBA NSW OVER EXISTING SHADOWS
SUNLIGHT HOURS AVAILABLE IN THE PRIVATE COURTYARD AREA DUE TO PROPOSED NEW STRUCTURE AT NO.48 ERNEST STREET LAKEMBA NSW.
NOTE THE FOLLOWING:
PROPOSED NEW SHADOW IMPACTS SHOWN IN RED FROM THE NEW ADDITIONS TO THE REAR OF THE EXISTING DWELLING DO NOT AFFECT ANY OF THE ADJOINING DWELLINGS OR COURTYARD AREA FOR THE MOST PART OF THE DAY DURING THE MID WINTER PERIOD OF THE 21ST OF JUNE.
THE COURTYARD AREA OF OUR SITE SHALL HAVE A MINIMUM OF 3 HOURS OF SUNLIGHT DURING THE MORNING HOURS OF BETWEEN 10.0am & 2.0pm.

Figure 6.2c: Location of noggings for shower walls

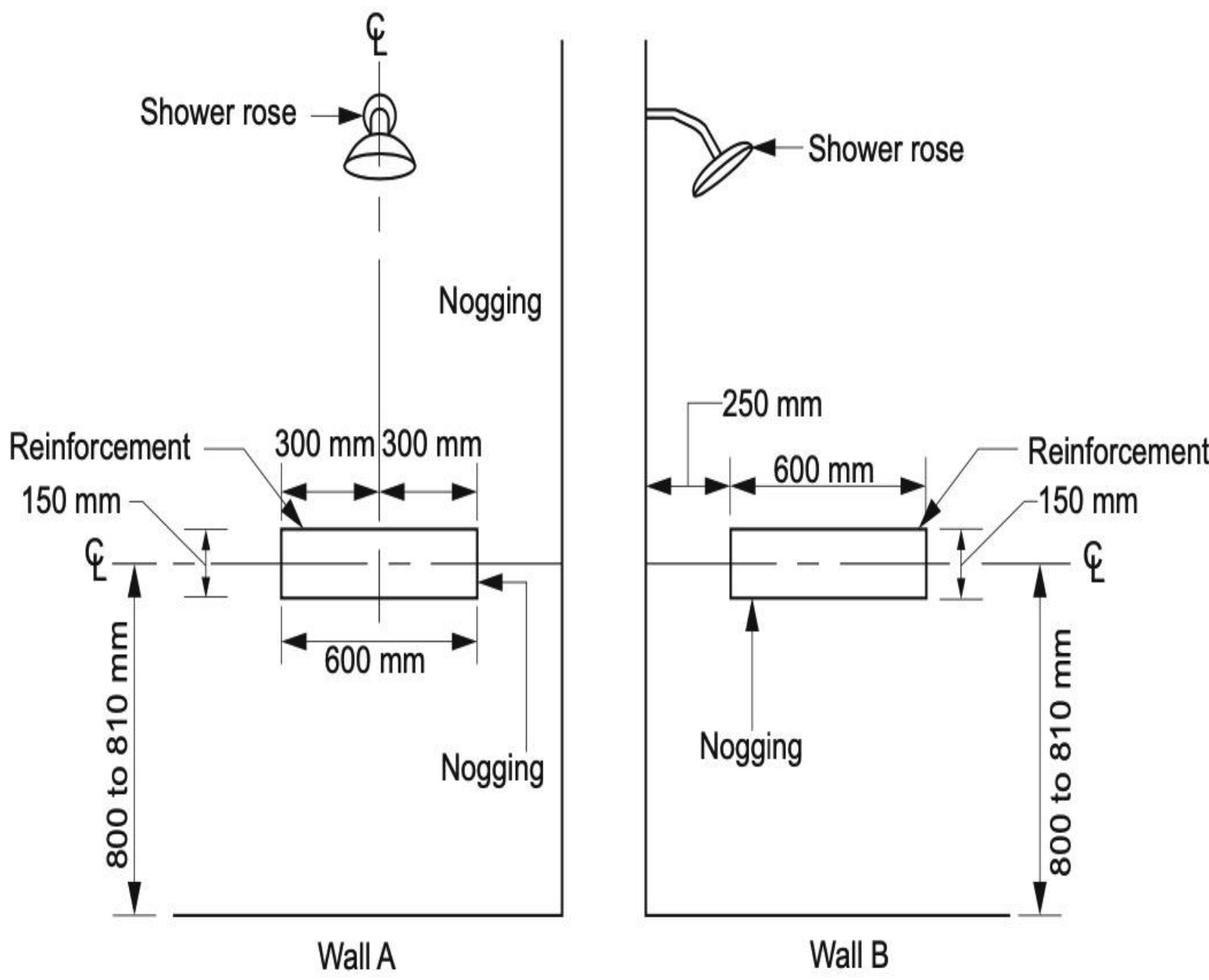


Figure 6.2f: Location of noggings for a wall behind a toilet pan

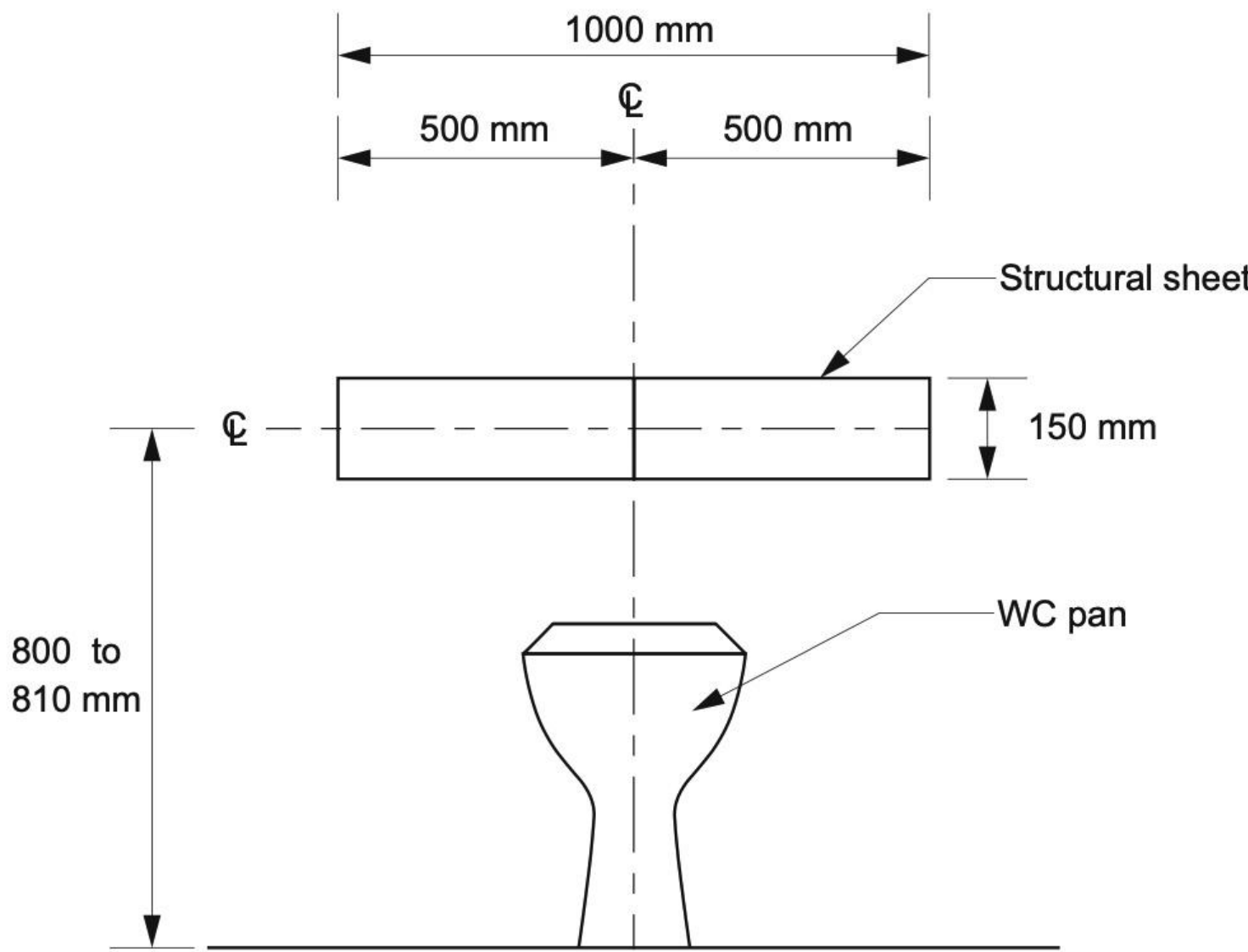


Figure 6.2d: Location of sheeting for shower walls

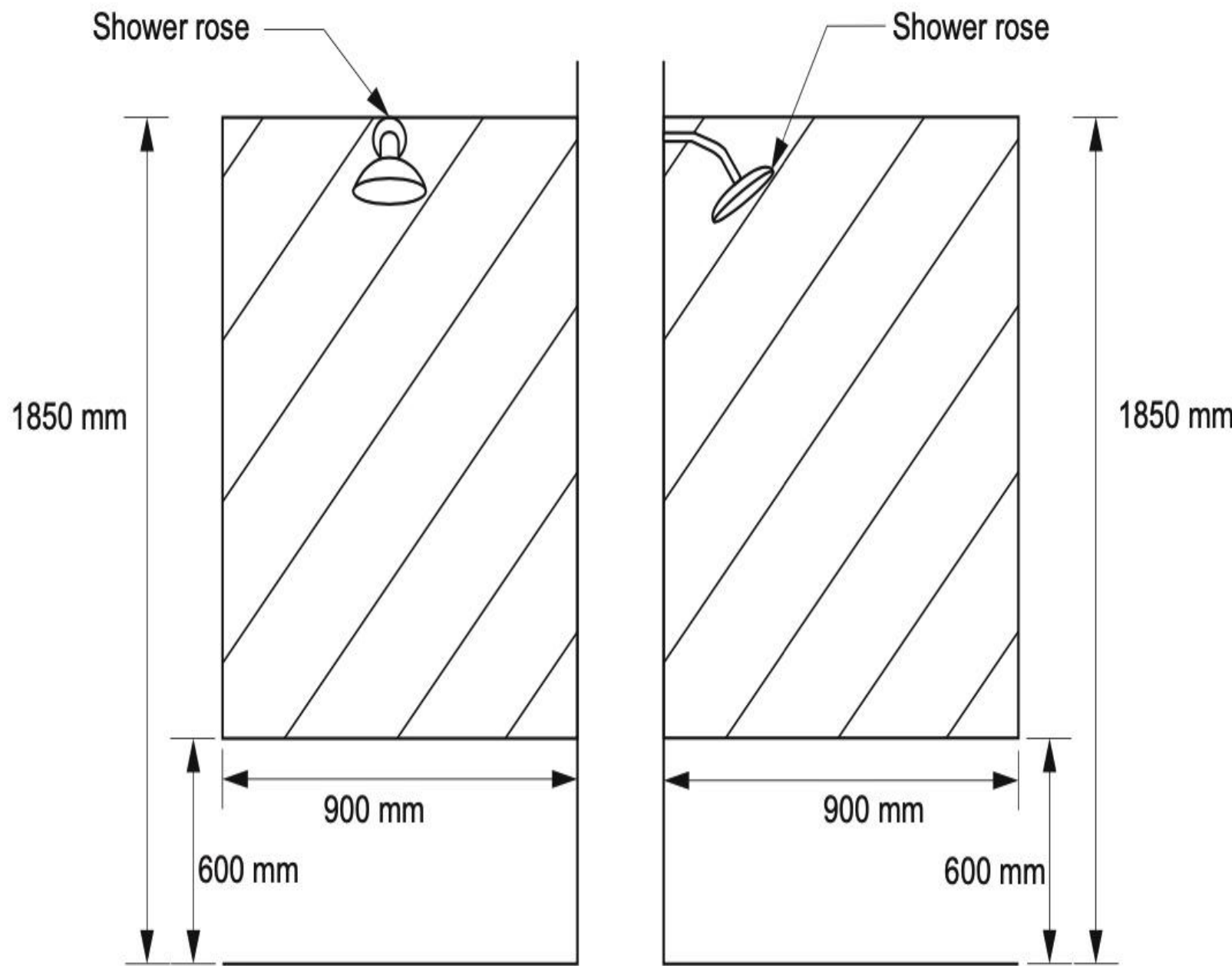


Figure 6.2g: Location of sheeting for a wall behind a toilet pan

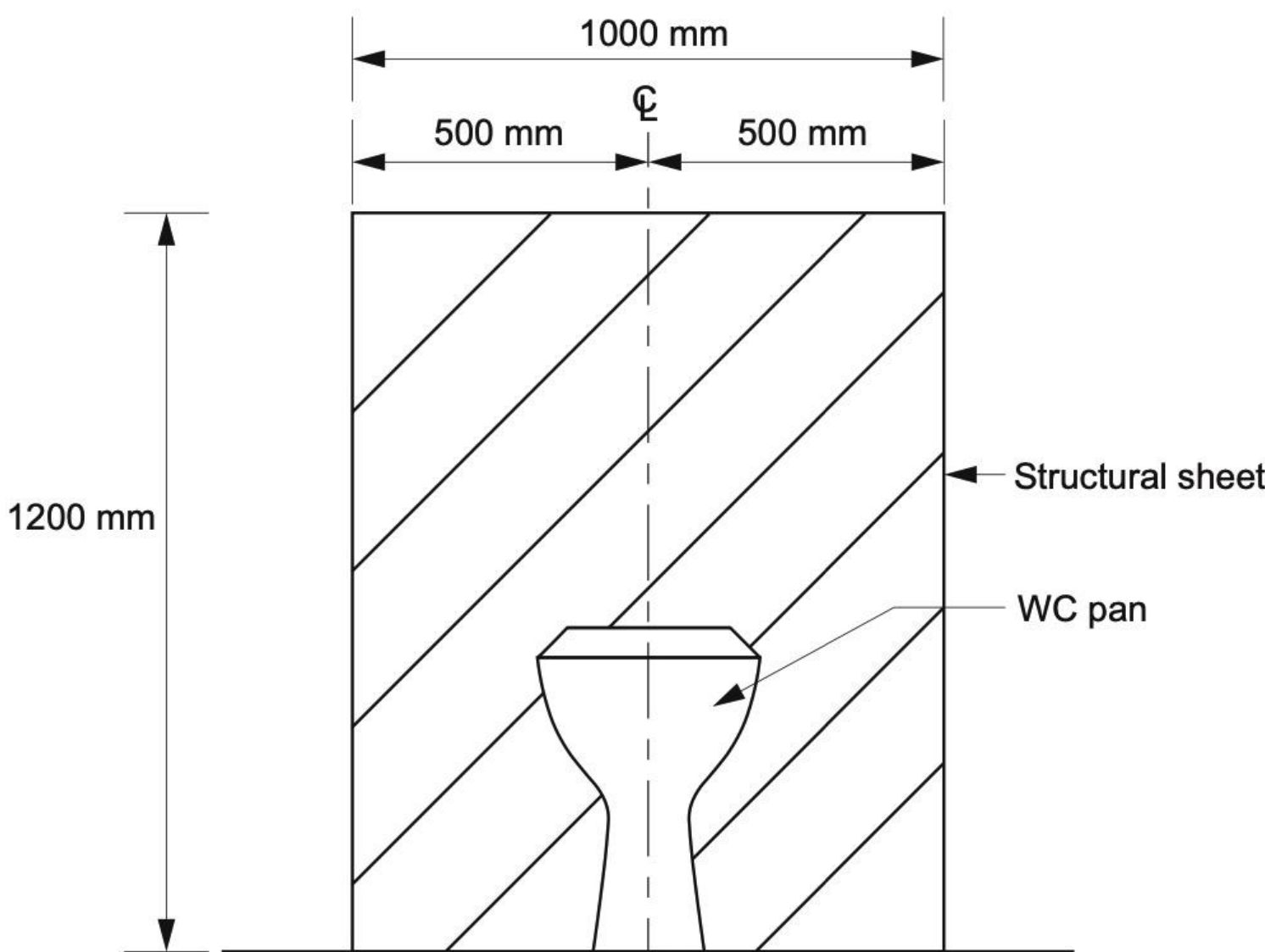
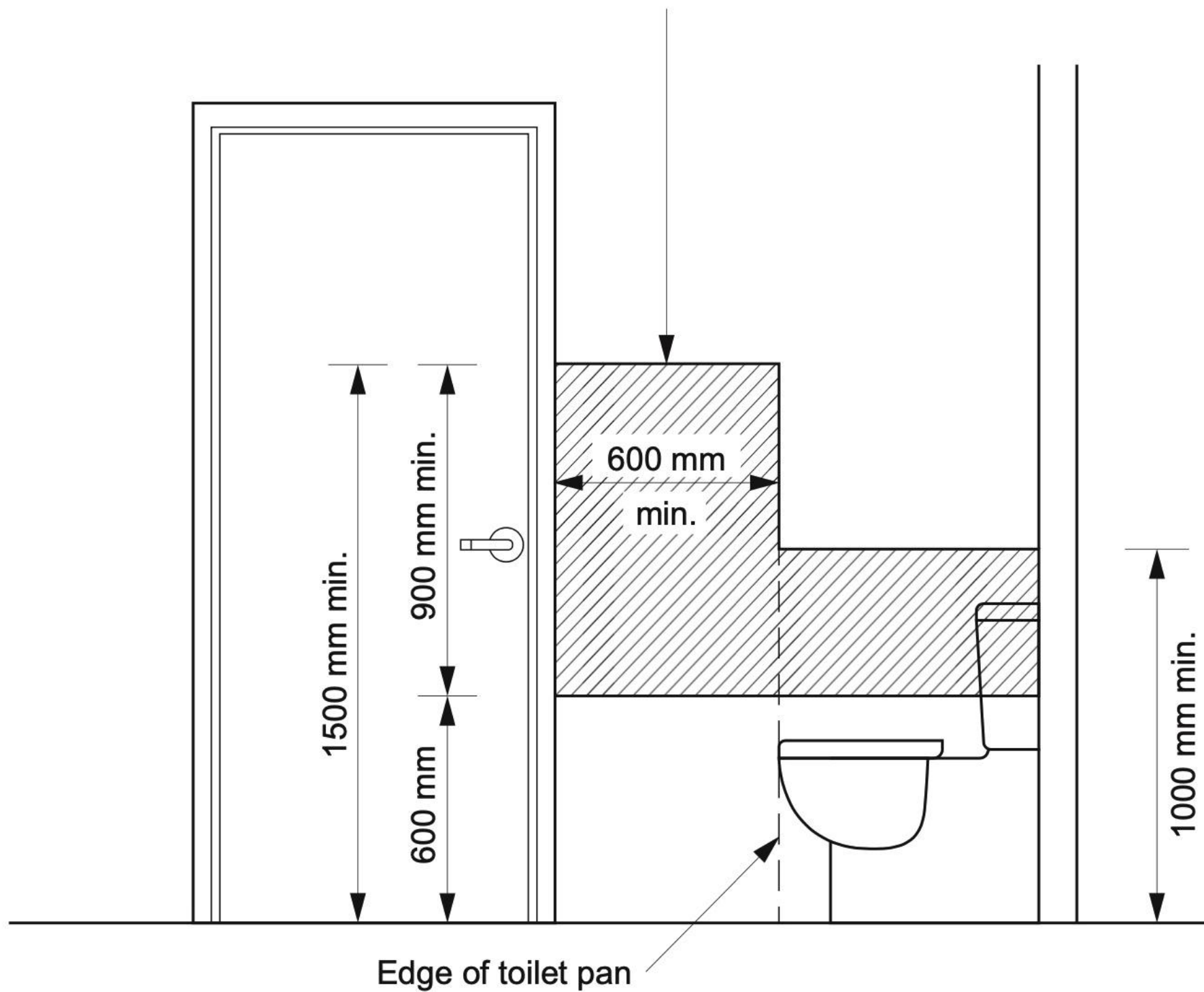


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening



SEVEN CORE DESIGN FEATURES ELEMENTS IN THE SILVER LEVEL

DESIGN FEATURES	EXAMPLES
1. A SAFE CONTINUOUS AND STEP FREE PATH OF TRAVEL FROM THE STREET ENTRANCE AND/ OR PARKING AREA TO A DWELLING ENTRANCE THAT IS LEVEL.	THERE IS A STEP FREE PATHWAY & ENTRANCE TO THE SECONDARY DWELLING.
2. AT LEAST ONE, LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING.	THE MAIN ENTRANCE IS STEP FREE WITH A MINIMUM DOOR WIDTH OF 850mm.
3. INTERNAL DOORS AND CORRIDORS THAT FACILITATE COMFORTABLE AND UNIMPEDED MOVEMENT BETWEEN SPACES.	THERE IS SAFE AND UNIMPEDED FREE MOVEMENT TO ALL ROOMS ONCE INSIDE.
4. A TOILET ON THE GROUND (OR ENTRY) LEVEL THAT PROVIDES EASY ACCESS.	THERE SHALL BE TWO TOILETS THAT ARE EASILY ACCESSIBLE & LOCATED ON GROUND LEVEL ONLY AS THE BUILDING IS SINGLE STOREY.
5. A BATHROOM THAT CONTAINS A HOBLESS SHOWER RECESS.	THE SHOWER RM SHALL CONTAINS A HOBLESS SHOWER RECESS.
6. REINFORCED WALLS AROUND THE TOILET, SHOWER AND BATH TO SUPPORT THE SAFE INSTALLATION OF GRABRAILS AT A LATER DATE.	ALL WALLS AROUND THE SHOWER & TOILETS ARE TO BE REINFORCED ALL AROUND AS PER DETAILS SHOWN ABOVE IN ACCORDANCE WITH THE LIVABLE HOUSING DESIGN STANDARD.
7. STAIRWAYS ARE DESIGNED TO REDUCE THE LIKELIHOOD OF INJURY AND ALSO ENABLE FUTURE ADAPTATION.	THERE ARE NO STAIRWAYS ANYWHERE AS THE BUILDING IS SINGLE STOREY ONLY.

DESIGN ELEMENTS IN THE SILVER LEVEL & DETAILS

<p>NOTES :</p> <p>DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY.</p> <p>CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES.</p> <p>C.O.S DENOTES ITEM TO BE CHECKED ON SITE.</p> <p>ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSSUM SURVEYING SERVICES P/L.</p> <p>AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ERGO DESIGNS.</p>	<p>A DA SUBMISSION 12/06/25</p> <p>rev notes date</p>	<p>This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of ergo designs.</p>	<p>M. KAMRUL ISLAM & M. RAHMAN</p> <p>48 ERNEST STREET LAKEMBA NSW</p> <p>client</p>	<p>ALT'S & ADD'S TO MAIN DWELLING/CONV. OF EX. OUT/BLDING TO SEC. DWELLING project</p> <p>48</p> <p>ERNEST STREET LAKEMBA address</p>	<p>Ergo Designs P/L</p> <p>building designers and consultants</p> <p>334A homer st earlwood nsw 2206 ph: 9558 1233</p> <p>e-mail: ergo-des@bigpond.net.au</p>	<p>bdaa</p> <p>ACCREDITED BUILDING DESIGNER</p> <p>Accreditation No.6667</p> <p>Registration Class BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)</p> <p>Registration Number DEP0001690</p>	<p>Tr N</p> <p>DESIGN ELEMENTS IN THE SILVER LEVEL & DETAILS</p> <p>drawing</p> <p>525-181 project</p> <p>A06 drawing no.</p> <p>A issue 12/6/25</p>
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